

Los Alamitos Medical Center Specific Plan

SP 09-1

LOS ALAMITOS MEDICAL CENTER
3751 Katella Avenue
Los Alamitos, California 90720



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Approved

**February 2011
Ordinance 11-02**

**Los Alamitos Medical Center
3751 Katella Avenue
Los Alamitos, California 92720**

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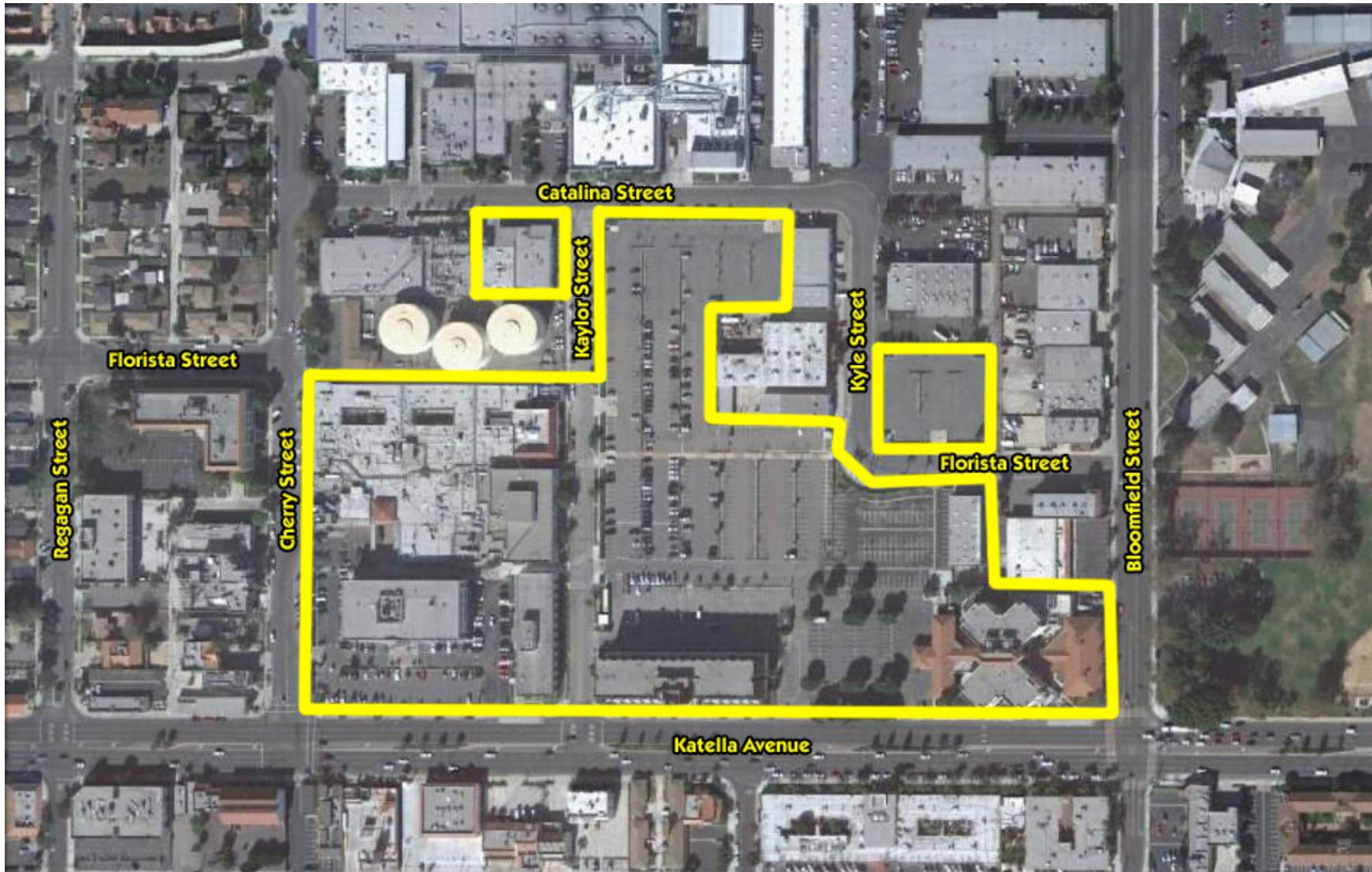
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**Los Alamitos Medical Center Specific Plan
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Project Site Boundary



B. Existing Conditions

1. Existing Facilities.

Presently, the Medical Center complex consists of a two-story hospital with 167 beds, three medical office buildings ranging from 2 to 4 stories, a Total Care Pavilion (ambulatory/skilled nursing care), and surface parking (see Table 1). A small administration/warehouse structure is also part of the campus on Catalina Street at the extreme north end of the campus. A small surface parking area presently used for employee parking is located north of Florista Street. A total of 1,094 surface parking spaces are present, located within seven parking lots throughout the campus.

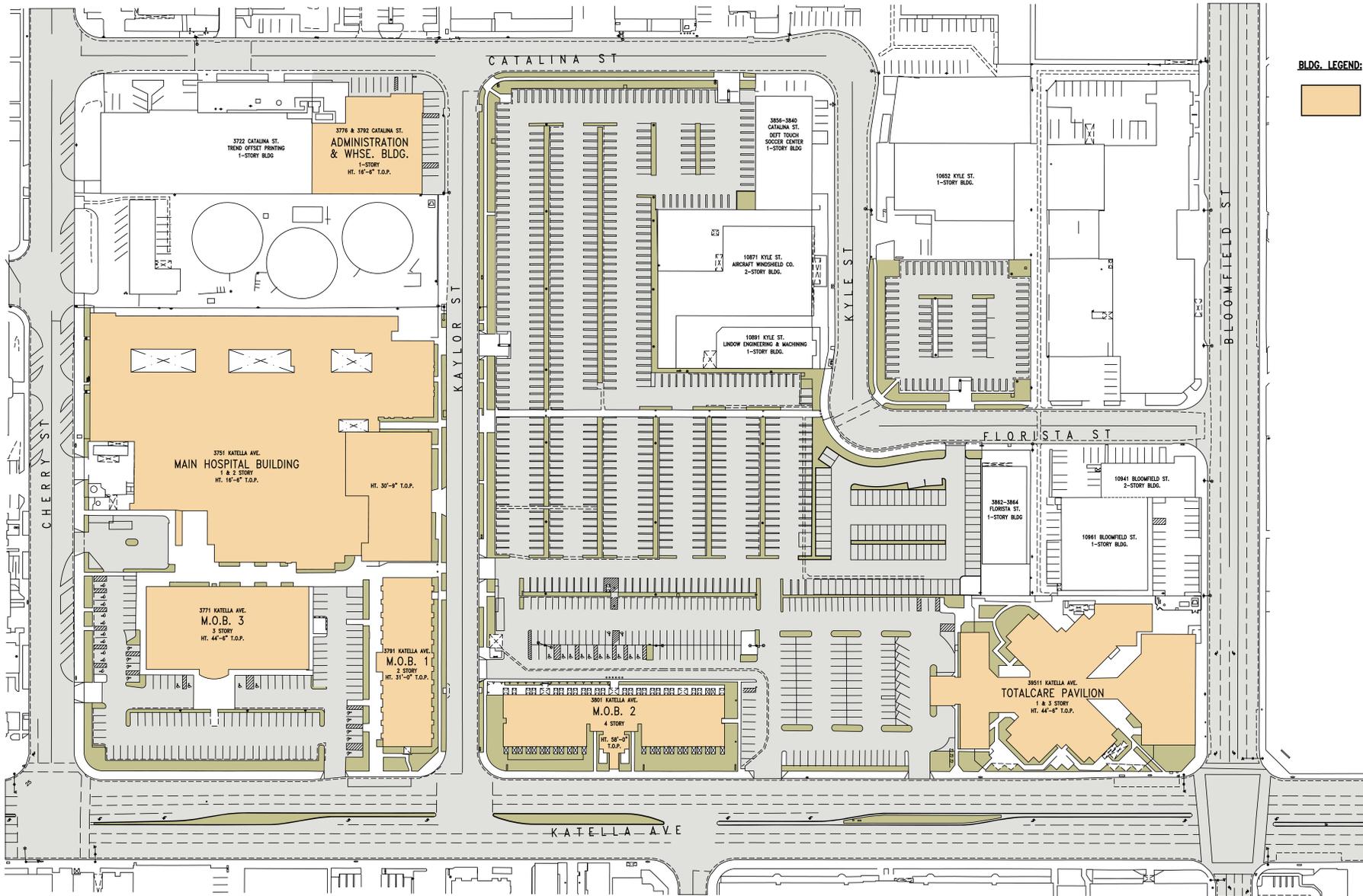
Table 1
Los Alamitos Medical Center
Existing Medical Campus Facilities and Uses

Use	Existing Facilities (sq. ft)	Hospital Beds
HOSPITAL & RELATED USES		
Main Hospital (3751 Katella Avenue)	121,748	167
MEDICAL OFFICE BUILDINGS (MOB)		
MOB 1 (3791 Katella Avenue)	24,000	--
MOB 2 (3801 Katella Avenue)	64,000	--
MOB 3 (3771 Katella Avenue)	60,000	--
Total Care Pavilion (3951 Katella Avenue)	71,676	--
Subtotal Medical Office Buildings	219,676	--
OTHER NON HOSPITAL BUILDINGS		
Existing Administration/Warehouse Building (3776 & 3797 Catalina Street)	15,099	
TOTAL (GROSS)	356,523	167
SITE ACREAGE (GROSS)	18.3	

2. Existing Zoning and General Plan Designations

The Medical Center campus is located within three General Plan Land Use Designations: the Community and Institutional Land Use Designation, the Planned Industrial Land Use Designation, and the Professional Office Designation. Approval of the Los Alamitos Medical Center Specific Plan will be preceded by a General Plan Amendment which will create a new Specific Plan Land use Designation over the entire Medical Center campus (“Specific Plan”). All pertinent development regulations for the Medical Center campus are discussed in Section 4 of this document.

Zoning for the property is Community Facilities (CF), Commercial Office (CO) and Planned Light Industrial (PM). Upon approval of the Specific Plan the campus will be zoned “Specific Plan” with development standards and development parameters governed by this Specific Plan document.



C. Purpose and Intent

It is the intent of the project applicant to prepare a specific plan document that will outline the planned, phased expansion of the Medical Center campus. A three-phase expansion is proposed, with the third phase conditioned upon certain timing thresholds

The overall purpose and intent of the Los Alamitos Medical Center Specific Plan is to create a policy and zoning document that will establish a planning and regulatory framework designed for the future development and build-out of the property located within the Los Alamitos Medical Center Specific Plan Area.

Proposed land uses consist primarily of hospital/patient care buildings and medical office facilities, as well as parking facilities for staff, patients, and visitors. Commercial uses are also permitted as outlined in the development regulations herein.

D. Project Overview

The proposed Specific Plan for the Medical Center campus includes a three-phase master planned expansion. The expansion will result in the addition of hospital beds, a new medical office building, and two parking structures. As part of the project, one existing medical office building will be demolished as well as a small administration building.

The hospital master plan expansion, which is the basis for the Specific Plan and its environmental analysis, can be summarized as follows, by phase. Additional detail and conceptual site plans will be provided in the Land Use section of this Specific Plan.

1. **Phase 1.** Three existing medical office buildings, the Total Care Pavilion, and the existing hospital will remain. Phase 1 consists of construction of a new 75,100 square foot medical office building, and a parking structure north of the new medical office building. Kaylor Street would be vacated as part of this phase; in Phase 1, Kaylor Street will remain in its current configuration and function as a private street, providing access to the campus from both Katella Avenue and Catalina Street.
2. **Phase 2.** Phase 2 consists of the demolition of an existing 24,000 square foot medical office building south of the existing hospital. A new hospital/patient care building, totaling 92 beds, will be constructed. The emergency room will be relocated to the ground floor of the new hospital/patient care building and the vacated emergency room space will be reconfigured for outpatient services for special procedures. Patient rooms in the existing hospital will be reconfigured. An existing administration/warehouse building located at the intersection of Catalina and Kaylor Street totaling 15,099 square feet is proposed for demolition and parking will be re-configured.
3. **Phase 3 (Conditional).** Phase 3 consists of the construction of a second hospital/patient care building totaling 126 beds, located to the north of the Phase 2 hospital/patient care building. Construction of a second parking structure to meet parking requirements is also proposed. A

new central plant building to service the new and existing hospital buildings is proposed on Catalina near Kaylor. Phase 3 is conditional upon meeting entitlement milestones as noted in the Phasing and Land Use sections of this document.

E. Specific Plan Goals

The following Goals are intended to serve as a benchmark for the Los Alamitos Medical Center Specific Plan. During project review and analysis, these goals can be used to determine if future development proposals are supportive of the spirit and intent of this Specific Plan. These goals also provide the foundation for Section 2, Development Plan, Section 3, Development Regulations, and Section 4, Design Guidelines.

- Comply with the City of Los Alamitos General Plan Goals and Policies.
- Design the project with consideration of the site's circulation, environmental, and physical opportunities and constraints.
- Create project identity through thematically coherent and aesthetically pleasing architecture, landscaped areas, colors, signage, and entry statements outlined in project design guidelines and implemented through the site plan review process.
- Size and phase the medical center development plan to satisfy, and be consistent with, current and anticipated future market demand.
- Encourage a streamlined and predictable discretionary review process for subsequent reviews
- Provide for coordinated land use, urban design, landscape, transportation, and infrastructure planning.
- Create a sustainable development that minimizes short term and long term adverse environmental impacts to the fullest extent feasible and adequately addresses consumer needs.
- Improve the local job market by providing a substantial number of permanent new jobs within and available to the local community.

F. Specific Plan Authority and Requirements

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457) provides the authority to adopt a Specific Plan by ordinance (as a regulatory plan) or resolution (a policy driven plan). The Specific Plan will be both a regulatory and policy document adopted by Ordinance.

As a regulatory plan, the Los Alamitos Medical Center Specific Plan will establish the zoning for the land within the Specific Plan area. Development plans, site plans, and any future tentative tract and/or parcel maps must be consistent with the Specific Plan and the Los Alamitos General Plan. The Specific Plan, once completed, will include a description of future land use, infrastructure and other

improvements as well as development standards, design guidelines and implementation measures, as specified below:

- The distribution, location, and extent of the uses of land, including potential open space, within the Specific Plan Area.
- The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities to be located within the Specific Plan Area and which are needed to support the land uses described in the Plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, public works projects, and financing measures necessary to carry out the project.
- A statement of the relationship of the Specific Plan to the General Plan.

Approval of the Los Alamitos Medical Center Specific Plan is a discretionary project and is subject to the requirements of the California Environmental Quality Act (CEQA). Pursuant to State and local CEQA Guidelines, an environmental document analyzing the impacts associated with development of the Los Alamitos Medical Center Specific Plan was prepared and reviewed by the City of Los Alamitos prior to approval of the Specific Plan. The project's Final EIR was certified by the City Council in February 2011 via Resolution 2011-02 and a Mitigation Monitoring and Reporting Plan adopted (see the Appendix of this document).

G. Document Organization

Section 1- Introduction - This section provides a general overview of the Specific Plan, and includes the project location, purpose, background, Specific Plan goals, and gives an idea of the overall spirit and intent of the Specific Plan.

Section 2 - Land Use Plan - The Development Plan discusses the concepts behind the creation of the Specific Plan and details the land use program for the site.

Section 3 - Circulation and Infrastructure Plan - The Circulation Plan discusses the improvements will be made to accommodate the proposed land uses on-site. This section includes circulation and parking plans, and infrastructure improvements including any necessary domestic water, sanitary sewer, and storm drain improvements.

Section 4 - Site Development Regulations - The Development Regulations establish the Los Alamitos Specific Plan as a Zoning District, and also identify acceptable development standards such as heights, setbacks, drive aisles, or floor area ratio in order to establish the fundamental relationship between building form and user scale. This section also identifies permitted and conditionally permitted uses within the Specific Plan area.

Section 5 - Site Design Guidelines - This section directs Specific Plan Users on the preferred appearance of the development within the Los Alamitos Specific Plan. Through text, photographs, and illustratives, the Design Guidelines section incorporates examples and references desired materials, forms, and themes for architectural, landscape, lighting, signage, and façade elements within the Los Alamitos Medical Center Specific Plan.

Section 6 - Implementation and Administration - The Implementation and Administration section identifies administrative, review, approval, and amendment procedures for projects located within the Specific Plan Boundary. This section identifies who may review the projects, and what steps project proponents will have to complete to develop their project within the Specific Plan Area.

Section 7 – Appendices - This section includes an analysis of how the Los Alamitos Medical Center Specific Plan is in conformance with the Los Alamitos General Plan. Relevant goals and policies the Specific Plan implements are analyzed, and this section concludes with a statement of consistency between the Specific Plan and the Los Alamitos General Plan. The Appendix also includes the Ordinances and Resolutions adopting the Specific Plan as well as the project’s Mitigation Monitoring and Reporting Plan.

SECTION 2 - LAND USE PLAN

This section provides a review of the plan that governs the project. It identifies the proposed land use program for the Los Alamitos Medical Center Specific Plan.

A. Purpose and Need

The Los Alamitos Medical Center hospital structure was constructed in 1968 and has been modified several times since that time. Three medical office buildings and a total care pavilion have been constructed incrementally as the campus has expanded.

The existing medical center provides medical care to over 100,000 patients per year, with over 88% of admissions from within an eight-mile radius. The facility is a significant local employer and supports local services through utility, property, “first functional use” and sales taxes.

With the changing trends in medical care and hospital design, an update of the hospital facilities is needed, to provide a modernized emergency room and reduced bed occupancy in hospital rooms, providing a higher percentage of low- or single-occupancy rooms. The proposed expanded medical facilities will provide valuable medical services to the public and stimulate the local economy by providing jobs to residents in the City of Los Alamitos and expanded tax revenues.

B. Land Use Plan

The Los Alamitos Medical Center is envisioned to be a safe, attractive, well-designed medical center where surrounding residents of all ages can obtain valuable medical treatment and care. Proposed land uses within the Los Alamitos Medical Center Specific Plan include construction of medical service land uses and office uses within three phases.

The Specific Plan land use program includes the following development actions, summarized below, and shown in Table 2, *Land Use*.

1. Land Use Summary by Phase

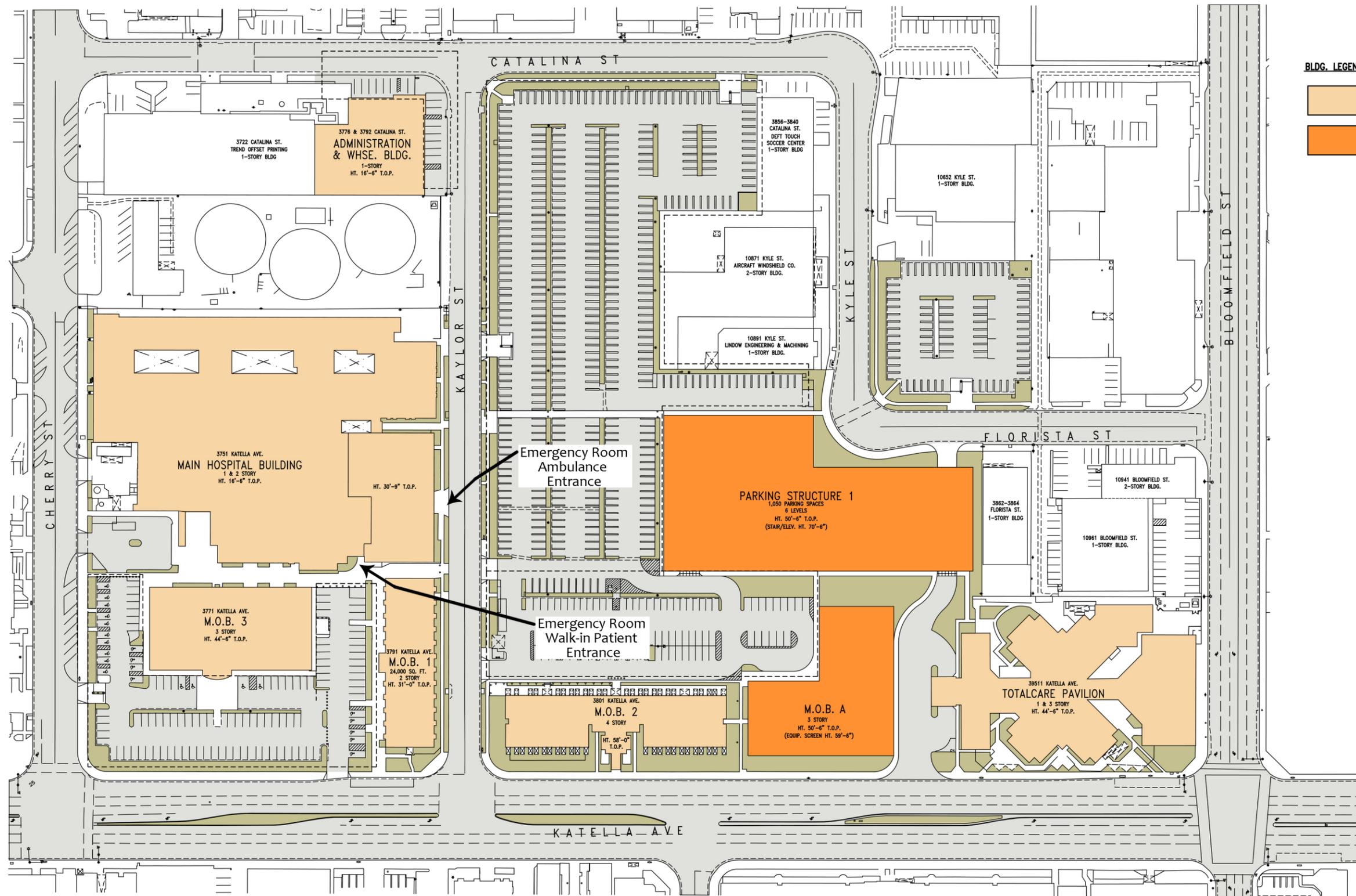
- a. Phase 1 consists of the following elements (see Phasing discussion in Section 6 on construction sequencing). Three medical office buildings, the Total Care Pavilion and the main hospital will remain unaltered during phase 1. Exhibit 3, *Land Use Plan - Phase 1*, illustrates the first phase land uses.
 - Vacation of the entire right-of-way of Kaylor Street¹. Parking will be provided in a district setting, with parking spaces provided throughout the site and not specifically allocated by building. Kaylor Street will function as a private street during phase 1 but will not be reconfigured.

¹ City Council Resolution 2011-06, February 2011.

- Construction of a new 3 story medical office building (MOB “A”) on the Katella Avenue project frontage, totaling 75,100 gross square feet;
 - Construction of a new parking structure north of the new Medical Office Building.
- b. Phase 2 consists of the following elements (see Phasing discussion in Section 6 for sub-phases to accommodate construction sequencing) (Exhibit 4, *Land Use Plan - Phase 2*, illustrates the second phase land uses):
- Demolition of an existing 24,000 square foot medical office building located at the northwest corner of Kaylor Street and Katella Avenue to allow for reconfiguration of surface parking areas. As part of phase 2, Kaylor Street south of the existing main hospital will be reconfigured as a driveway and parking area, and Kaylor Street north of the new hospital/patient care building would terminate in a cul-de-sac and function as a private street.
 - Demolition of an existing 15,099 square foot administration/warehouse building along Catalina/Kaylor Street and construction of surface parking.
 - Construction of a new four-story hospital/patient care building totaling 92 beds, resulting in a 38 bed net increase as a portion of the existing hospital will be renovated resulting in a reduced bed count. The existing hospital bed count would be reduced to 113 beds from the present total of 167 to allow for modernization of hospital room configurations. The emergency room will be relocated to the ground floor of the new hospital/patient care building and the vacated emergency room space will be reconfigured for outpatient services for special procedures. An at-grade, enclosed corridor will be constructed to link the existing hospital with the new hospital/patient care building.
- c. Phase 3 consists of the following elements (Exhibit 5, *Land Use Plan - Phase 3/Buildout*, illustrates the third phase land uses):
- Construction of a second four-story hospital/patient care building totaling 126 beds to the north of the Phase 2 hospital/patient care building. An elevated corridor will connect the two hospital/patient care buildings.
 - Construction of a Central Plant to service the new and existing hospital buildings.
 - Construction of a second parking structure to meet parking standards.
 - Phase 3 is conditional, requiring submittal of a complete application for Site Plan Review of Phase 3 by the tenth (10th) anniversary of effective date of the Ordinance approving the Specific Plan. Should the applicant fail to submit a complete application for site plan review of Phase 3 by the tenth anniversary of the effective date of the ordinance, the approvals for all structures for which no site plan review has been submitted shall be null and void.

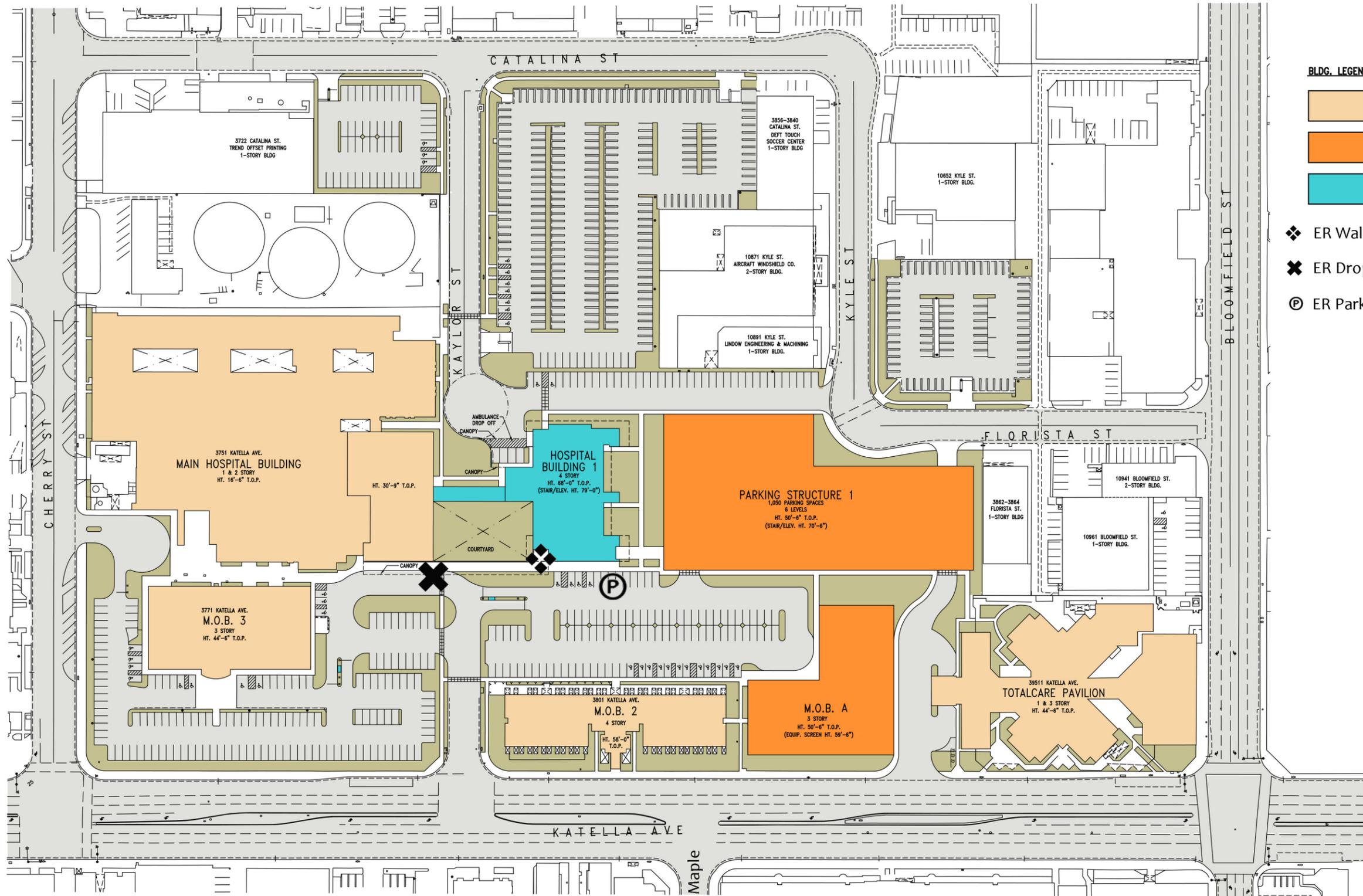
**Table 2
Los Alamitos Medical Center Land Use**

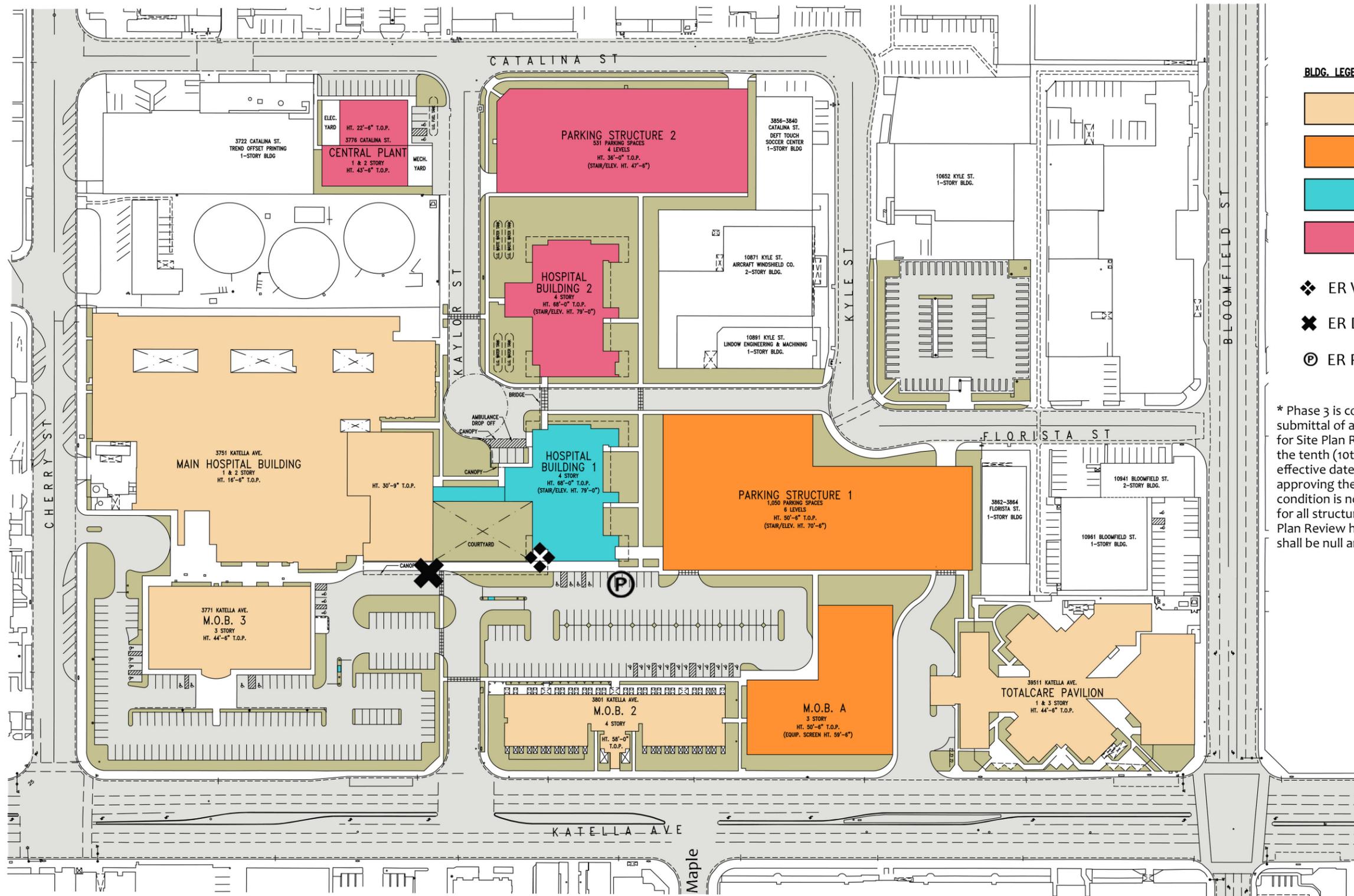
New Buildings	Square Feet	Beds
Phase 1		
Existing Main Hospital	121,748	167
Existing MOB 1 (interim pending demolition in Phase 2)	24,000	--
Existing MOB 2	64,000	--
Existing MOB 3	60,000	--
Existing Total Care Pavilion	71,676	--
Existing Administration/Warehouse Building (3776 & 3797 Catalina) (interim pending demolition in Phase 2)	15,099	
New Medical Office Building A (MOB "A")	75,100	--
<i>Subtotal Phase 1</i>	431,623	167
Phase 2		
Hospital/Patient Care Building 1	88,100	92
Existing Main Hospital (internal reconfiguration only)	No change	113 ¹
<i>Subtotal Phase 2</i>	88,100	205
Cumulative Total, Phase 2	480,624 ¹	205
Phase 3³		
Hospital/Patient Care Building 2	88,100	126
New Central Plant	14,100	--
Subtotal Phase 3	102,200	--
BUILD-OUT TOTAL	582,824	331
Net Increase	226,301	164
<p>1. In Phase 2 the bed count in the existing hospital is reduced from 167 beds to 113 beds due to consolidation of rooms and interior renovation. No change in square footage is proposed. Existing MOB 1 will be demolished as part of phase 2 as will the existing Administration/Warehouse building.</p> <p>2. Net increase is in comparison to the 356,523 sq ft of existing uses shown on Table 1 and accounts for demolition.</p> <p>3. Phase 3 is conditional, requiring submittal of a complete application for Site Plan Review of Phase 3 by the tenth (10th) anniversary of effective date of the Ordinance approving the Specific Plan. Should the applicant fail to submit a complete application for site plan review of Phase 3 by the tenth anniversary of the effective date of the ordinance, the approvals for all structures for which no site plan review has been submitted shall be null and void.</p>		



BLDG. LEGEND:

- EXISTING BUILDINGS
- PHASE 1 BUILDINGS





BLDG. LEGEND:

- EXISTING BUILDINGS
- PHASE 1 BUILDINGS
- PHASE 2 BUILDINGS
- PHASE 3 BUILDINGS

- ER Walk-in Entry
- ER Drop-off
- ER Parking

* Phase 3 is conditional, requiring submittal of a complete application for Site Plan Review of Phase 3 by the tenth (10th) anniversary of effective date of the Ordinance approving the Specific Plan. If this condition is not met, the approvals for all structures for which no Site Plan Review has been submitted shall be null and void.

SECTION 3 - CIRCULATION & INFRASTRUCTURE PLAN

This section provides a review of the infrastructure plans that support the project. It identifies required circulation, parking, and any necessary infrastructure improvements associated with the proposed build-out of the Specific Plan. Service and utility providers are also identified below.

A. Circulation Plan

1. Regional Access

Regional access to the Los Alamitos Medical Center Specific Plan area is provided by the I-405 and I-605 Freeways. Interstate 405 is located approximately two and one-half miles to the south, and Interstate 605 is located approximately one and one-half miles to the west. The Medical Center fronts Katella Avenue, which is accessible by the I-605 Freeway to the west. Los Alamitos Boulevard, located to the west of the Specific Plan area provides access to Interstate 405. Los Alamitos Boulevard eventually becomes Seal Beach Boulevard approaching Interstate 405.

2. Perimeter Roads

a. Katella Avenue

Katella Avenue is designated as an Orange County Transportation Authority (OCTA) Smart Street. This means that Katella Avenue is eligible for OCTA funding for roadway segment and intersection improvements to provide smoother traffic flow. The General Plan states that Smart Streets are designated as six to eight lane roadways with a maximum right of way width of 122 feet. The Smart Street eight lane configuration is estimated to have a design capacity of 60,000 vehicles per day (east of Los Alamitos Boulevard). A center median currently exists along the Katella Avenue Medical Center Frontage, with a break at Kaylor Street to allow for left turn movements into and out of the site. Presently, there are four points of access into the site from Katella Avenue, including Kaylor Street and three driveways. The intersection of Cherry Street and Katella Avenue is signalized.

Access into the site will vary by phase as shown in Exhibits 6-8, *Circulation Plan*. During the first phase, primary access will continue to be via Kaylor Street, with a second driveway located between the Total Care Pavilion and the new medical office building. This driveway will provide direct access to the parking structure. One driveway would be eliminated as part of Phase 1. Access into the site from Katella for Phases 2 and 3 would be via two driveways, as Kaylor Street would be reconfigured as a driveway access into the site.

Katella Avenue provides parallel parking on each side of the street at the present time. Based on EIR traffic analysis of the project the following improvements will be required on Katella Avenue (for detail on Katella Avenue improvements see Mitigation Measure TRF 1 and 2 in the project's Mitigation Monitoring and Reporting Plan in the appendix of this document):

- A new traffic signal will be constructed at the intersection of Katella Avenue and the new Kaylor entry to the campus. This signal will be interconnected with the signal at Cherry Avenue.
- Median improvements will be made in Katella as shown on Exhibit 6a. Improvements include addition of turn pockets. These improvements will be phased as indicated in the project mitigation as approved by City Council in February 2011.
- Elimination of on-street parking on Katella Avenue along the Medical Center frontage.

b. Cherry Street

Cherry Street is a two-lane local street that serves as the western border of the Specific Plan area and runs north to south. Angled parking is currently provided on both sides of Cherry Street. An entrance along Cherry Street will allow access to the Specific Plan area. The intersection of Cherry Street and Katella Avenue is signalized.

c. Florista, Kyle and Catalina Streets

Additional perimeter streets include Florista, Kyle, and Catalina Streets, which form the northern boundary to the campus and provide access from Cherry Street to Bloomfield Street. These remaining streets will provide vehicular access to the Specific Plan area.

3. Internal Circulation

a. Kaylor Street

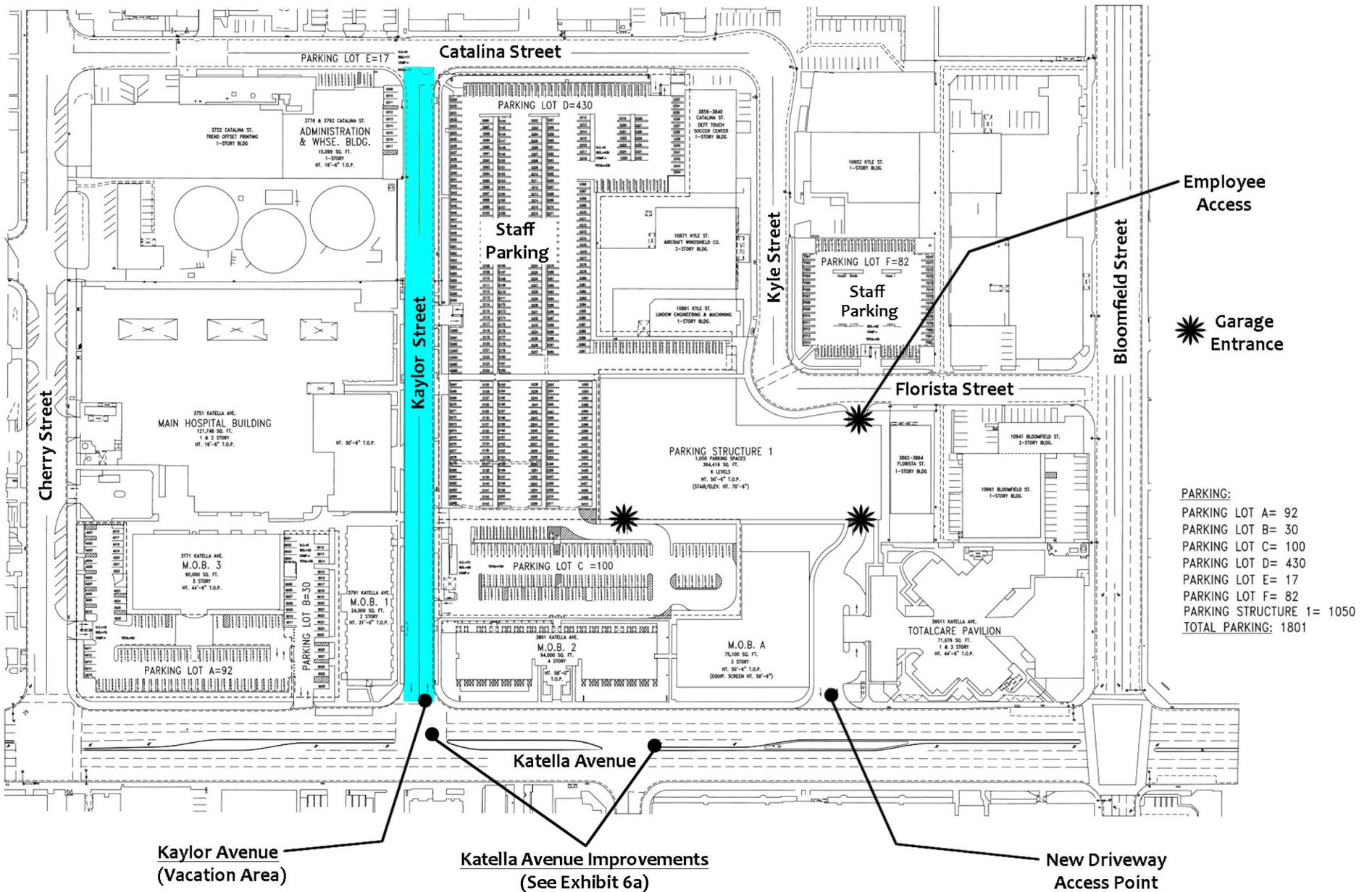
Kaylor Street is a public roadway that currently serves as the only full access point from Katella Avenue. It roughly bisects the site and intersects Catalina Street to the north. As part of Specific Plan implementation, Kaylor will be modified as follows:

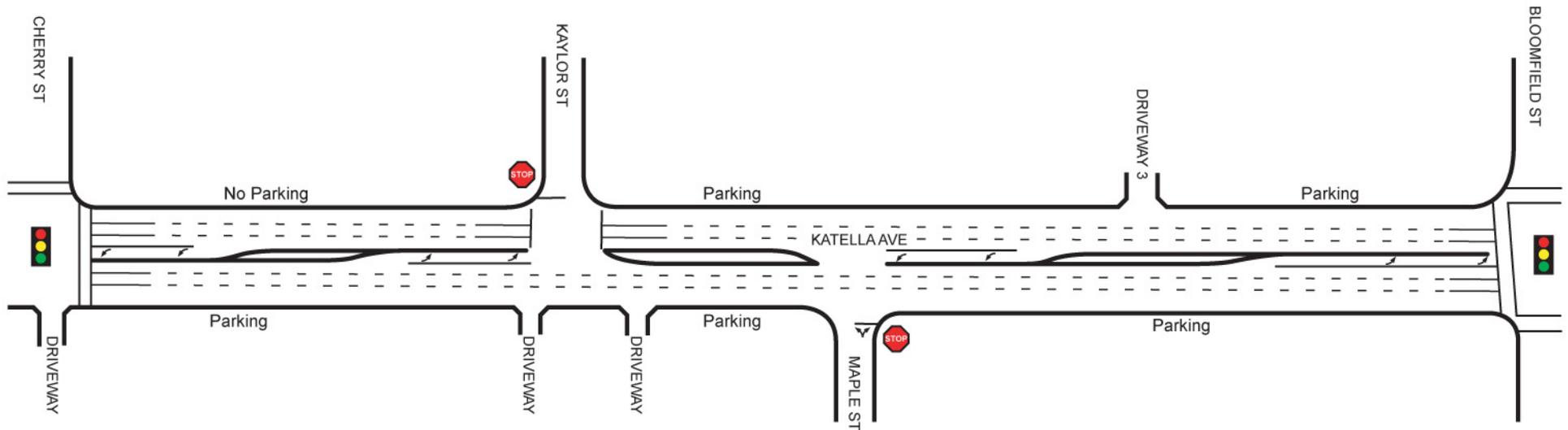
- Phase 1. Kaylor Street will be vacated during Phase 1 of Specific Plan implementation but will remain unaltered in configuration, providing full access into the site as a private street. A public access easement would be placed on the private street. Maintenance will be taken over by the Medical Center. Kaylor Street vacation was approved by the City Council via Resolution 2011-06 in February 2011.
- Phases 2 and 3. As part of Phase 2, Kaylor Street will be reconfigured as a driveway access point into the site, providing access to the new parking structure and surface parking lots from Katella. On the north, Kaylor Street would function as a private street and extend south from Catalina Street serving as an access point for ambulances to the new emergency room and access for employees and visitors. Kaylor Street will terminate in a cul-de-sac constructed to City and Orange County Fire Authority (OCFA) standards.
- Signalization of the Kaylor Street/Katella Avenue intersection will be implemented as required by the project's Environmental Impact Report.

4. Emergency Room Access

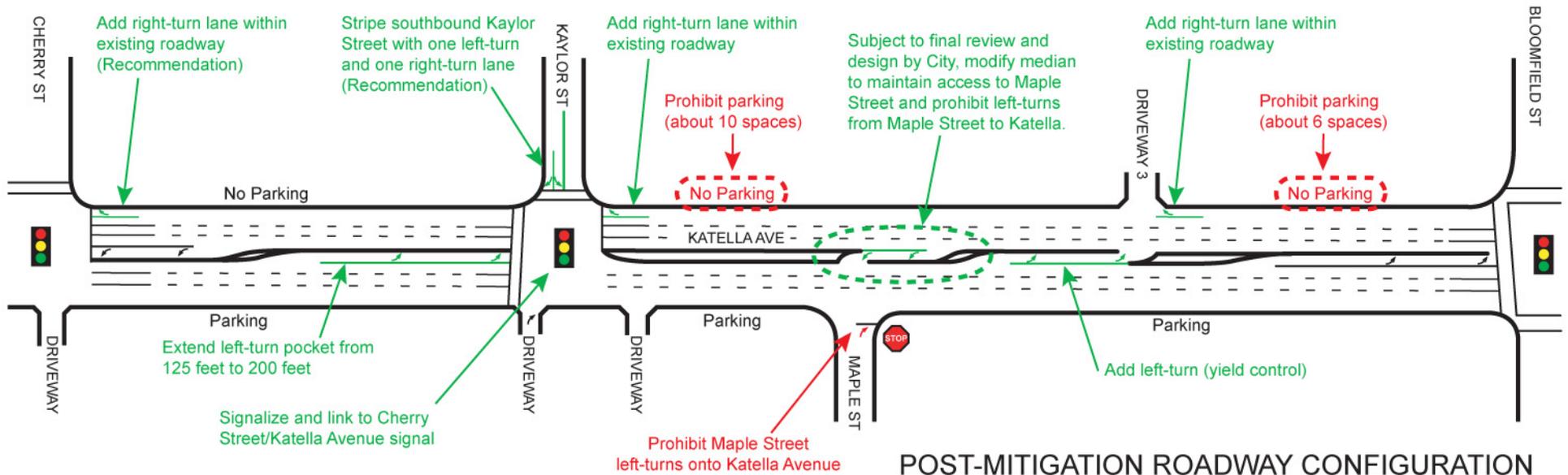
Office of State Health Planning and Development (OSHPD) and good design principles dictate that emergency vehicle/ambulance access be separated from walk-in patient access to the emergency room. Walk-in patient access to the emergency room would be provided via a separate at-grade covered entrance and drop-off facing Katella Avenue (see Exhibits 7 and 8). Parking spaces fronting the emergency room would be available for emergency room parking.

The ambulance route for the medical center will vary by phase. In the first phase there will be no change to the existing ambulance route to the emergency room in the existing hospital, which is via Kaylor Street. Upon construction of Hospital/Patient Care Building 1 in the second phase, the emergency room will be relocated to the ground floor of that building. Ambulance access to the emergency room would be via Kaylor Street from the north and a driveway off of Florista Street for both the second and third phases

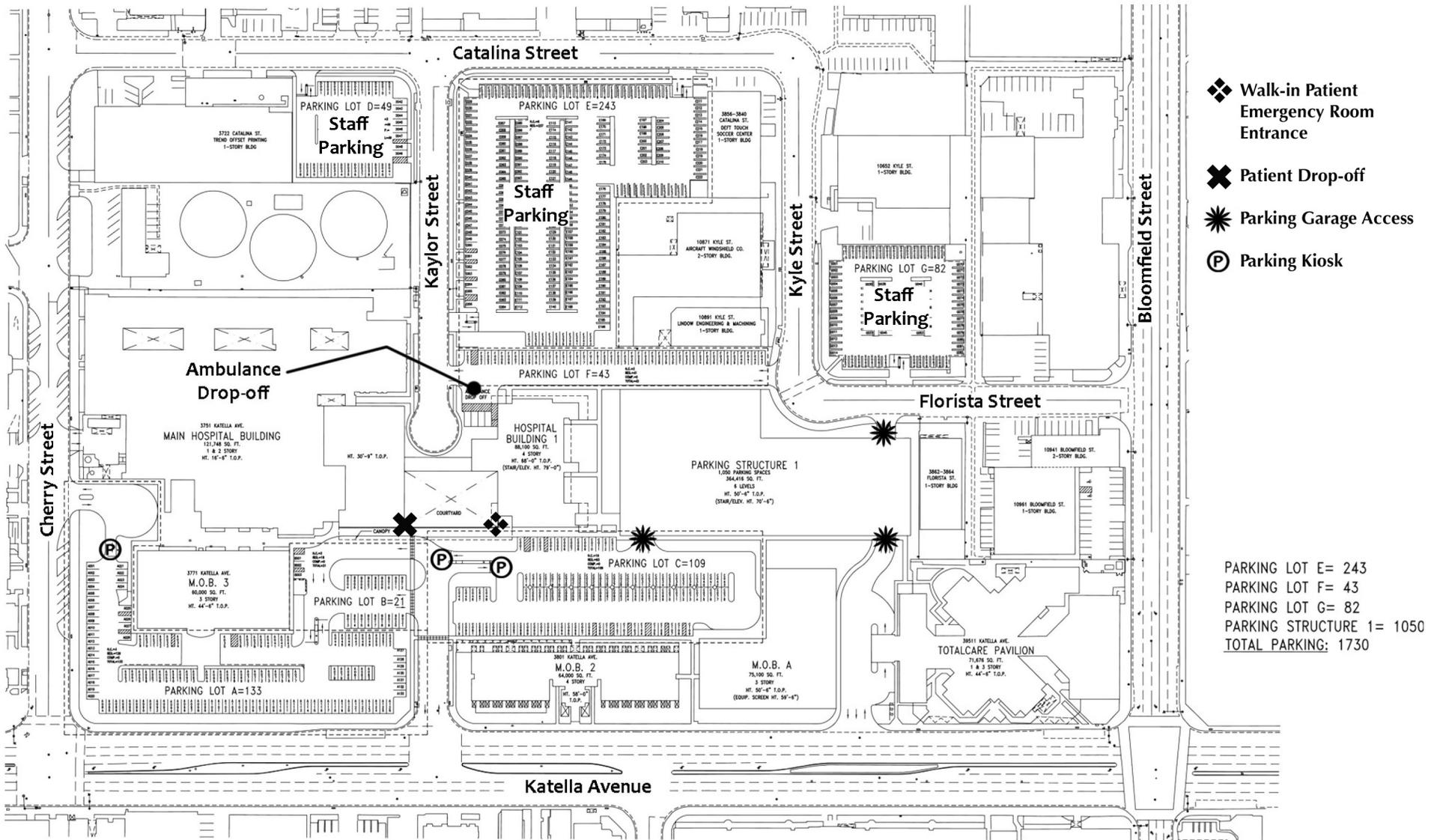




PRE-MITIGATION ROADWAY CONFIGURATION



POST-MITIGATION ROADWAY CONFIGURATION



Note: Circulation Elements are the same for Phases 2 and 3.



B. Parking Plan

A total of up to 1,966 on-site parking spaces will be provided within the Specific plan Area at build-out, configured in surface and structured parking areas. Parking will be provided at ratios that meet or exceed the parking standards of the Specific Plan Development Regulations as shown in Table 3, *Parking Requirements*, based on the anticipated phased build-out of the project. The final parking requirement will be based on the parking ratios outlined in the Development Regulations of this Specific Plan, calculated at the time of final site plan review, and thus may vary slightly based on final square footages. Parking would be on a paid basis, with employee parking provided at no charge. Employees would take access to the parking areas and/or structure(s) via separate controlled entry points.

**Table 3
Parking Requirements**

Use	Square Feet	Beds	Parking Required
Phase 1			
Existing Main Hospital	121,748	167	292
Existing MOB 1 (interim until demolished in Phase 2)	24,000	--	120
Existing MOB 2 (unaltered)	64,000	--	320
Existing MOB 3 (unaltered)	60,000	--	300
Existing Total Care Pavilion (unaltered)	71,676	--	358
Existing Administration/Warehouse Building (interim until demolished in Phase 2)	15,099	--	30
New Medical Office Building A	75,100	--	376
Subtotal Phase 1 (Stand Alone)	431,623	167	1,796
Phase 2			
Existing Main Hospital (internal reconfiguration with bed count reduction)	(no change)	-54	-94 Reduction due to reduced bed count
New Hospital/patient care building 1	88,100	92	161
Demolition of MOB 1	-24,000	--	-120
Demolition of Administration/Warehouse Bldg.	-15,099	--	-26
Subtotal Phase 2 (net)	49,001	92	-79
Cumulative Total Phase 2	480,624	205	1,717
Phase 3			
New Hospital/patient care building 2	88,100	126	221
New Central Plant	14,100	--	28*
Subtotal Phase 3	102,200	--	249
BUILD-OUT TOTAL	582,824	331	1,966

Parking ratios: Hospital (1.75 spaces/bed), Medical Office (5 spaces/1,000 sf), Office (4 spaces/1,000 sf), warehouse (1 space/1,000 sf), Central Plant (1 space/500 sf)

* At the time of site plan review the parking requirement for the Central Plant shall be determined based upon the floor plans for the final design, calculated at a the Central Plant ratio identified in the Development Regulations of this document. If no office space is present, no parking will be required.

During Phase 1, parking will be re-configured. A portion of the surface parking will be demolished, and concurrent with re-configuration of the surface parking spaces, a parking structure will be constructed. Parking in the two existing lots in the northern portion of the site would be employee/staff parking. Table 4, *On-Site Parking*, outlines the provided on-site parking by type. A second parking structure is proposed for construction in Phase 3, as Specific Plan build-out nears completion.

On-street parking is also present on the adjacent public streets. This on-street parking does not count towards meeting the parking needs for the site. As shown in Table 4, *On-Site Parking*, the proposed parking exceeds requirements.

**Table 4
On-Site Parking**

Phase	Parking Spaces Provided	Parking Required	Levels
Phase 1			
Surface Parking	751		Surface
Parking Structure 1	1,050		6 levels, above ground
Subtotal Phase 1	1,801	1,796	
Phase 2			
Surface Parking	680		Surface
Parking Structure 1	1,050		6 levels, above ground
Subtotal Phase 2	1,730	1,717	
Phase 3/Build-out			
Surface Parking	362		Surface
Parking Structure 1	1,050		6 levels, above ground
Parking Structure 2	554		4 levels, above ground
Total at Build-out	1,966*	1,966	

* At the time of site plan review the parking requirement for the Central Plant shall be determined based upon the floor plans for the final design, calculated at a the Central Plant ratio identified in the Development Regulations of this document. If no office space is present, no parking will be required.

C. Infrastructure Plan

1. Domestic Water Service

Domestic Water is currently provided to Los Alamitos Medical Center by Golden State Water Company. Existing water lines ranging from 6 to 8 inches are located in Catalina Street, Kaylor Street, Kyle Street, Florista Street, Bloomfield Avenue, and Katella Avenue as shown in Exhibits 9-11, *Infrastructure Plan*. Existing easements will be retained and new easements dedicated to meet district requirements. It is anticipated that the proposed medical facilities within the Specific Plan area will tie into existing pipes in adjacent streets.

Golden State Water Company has a payment office and storage tanks located on Cherry Avenue, used to store water and pump water into the pipelines for the community. The

Medical Center campus is not directly connected to the tanks, and this area is not a part of the Specific Plan.

Proposed new buildings will be served by existing water lines through a series of laterals. In the third phase, subsurface water storage tanks will be constructed within the campus (located adjacent to Kaylor Street near the second hospital/patient care building) to allow for 72 hour emergency water supply for continued hospital operation in the event of temporary water service interruption due to a seismic event. This is a State requirement for hospitals that must be implemented for all hospital buildings by the year 2030. If the milestone for site plan submittal for the third phase is not met, the subsurface tanks shall continue to be ministerially allowed under the specific plan to meet state code requirements.

2. Sanitary Sewer Service

Sanitary Sewer service is currently provided to Los Alamitos Medical Center campus by the Rossmoor/Los Alamitos Area Sewer District. Sewer treatment is provided by the Orange County Sanitation District treatment plant in Huntington Beach.

Existing sewer lines ranging from 8 inches to 12 inches are located in Cherry, Catalina, Kaylor, Kyle, Florista, and Bloomfield Streets, and a 30-inch trunk sewer is located in Katella Avenue as shown in Exhibits 9-11 *Infrastructure Plan*. Existing easements will be retained and new easements dedicated to meet district requirements. Proposed new structures will connect with existing sewer lines via lateral connections to individual buildings.

In the third phase, subsurface wastewater holding tanks will be constructed within the campus (adjacent to Kaylor Street near the second hospital/patient care building) to allow for 72 hour emergency wastewater holding capacity for continued hospital operation in the event of temporary wastewater service interruption due to a seismic event. This is a State requirement for hospitals that must be implemented for all hospital buildings by the year 2030. If the milestone for site plan submittal for the third phase is not met, the subsurface tanks shall continue to be ministerially allowed under the specific plan to meet state code requirements.

3. Storm Drainage and Water Quality

Storm drainage and flood control in Los Alamitos is maintained by the Orange County Flood Control District. Currently, storm drains are present within Katella Avenue and Kaylor Street, conveying storm water flows to facilities downstream. The storm drain in Kaylor Street ties into the Katella Avenue storm drain, which extends from Winners Circle on the east to Los Alamitos Boulevard on the west and outlets to the Orange County Flood Control District's Katella Storm Channel (Facility No. C01S05). The channel extends west to the Rossmoor Retarding Basin. Runoff from the retarding basin is pumped to Coyote Creek by the Rossmoor Pump Station. The City is part of a multi-jurisdiction flood control network that discharges water runoff into the San Gabriel River and Bolsa Chica channels downstream. Concrete storm drain facilities are also present in Catalina, Kyle, and Florista Streets. The site is not located in a flood zone.

Project drainage will be conveyed through the parking lot via surface flow to concrete parking lot drainage swales. From there water will be conveyed to existing inlets on Kaylor Street and Katella Avenue. Existing easements will be retained and/or new easements dedicated to meet district requirements.

Runoff from the site has been analyzed in a hydrology analysis prepared by Kimley-Horn (see appendix). Based on this analysis, each phase of the project results in a decrease of impervious area compared to existing conditions due to increased landscaped and open space areas. As a result, each phase of the project would result in a slight reduction of the amount of runoff leaving the site over the existing condition. This would be confirmed as part of the site plan review for each phase of the project.

Water Quality. The project is required to comply with Chapter 8.44, Stormwater and Urban Runoff Pollution Control, of the City’s Municipal Code, which regulates the treatment of stormwater runoff from development projects. This section requires the preparation of a water quality management plan. A Preliminary Water Quality Management Plan (WQMP) has been prepared for the project and identifies pollutant sources associated with the addition of business operations that may affect the quality of discharges of stormwater from the site. The WQMP also includes the following menu of Best Management Practices for the project, which would be refined for each phase via a Final Water Quality Management Plan as part of site plan review:

Source Control BMPs

- Provide storm drain system stenciling and signage
- Design and construct outdoor material storage areas to reduce pollution introduction
- Design and construct trash and waste storage areas to reduce pollution introduction
- Use efficient irrigation systems and landscape design



Treatment Control BMPs

- Vegetated (Grass) Strips/Vegetated (Grass) Swales
- Bioretention
- Proprietary Control Measures (such as Vortex Separator, Drain Inserts)
- Porous Pavement Detention
- Porous Landscape Detention

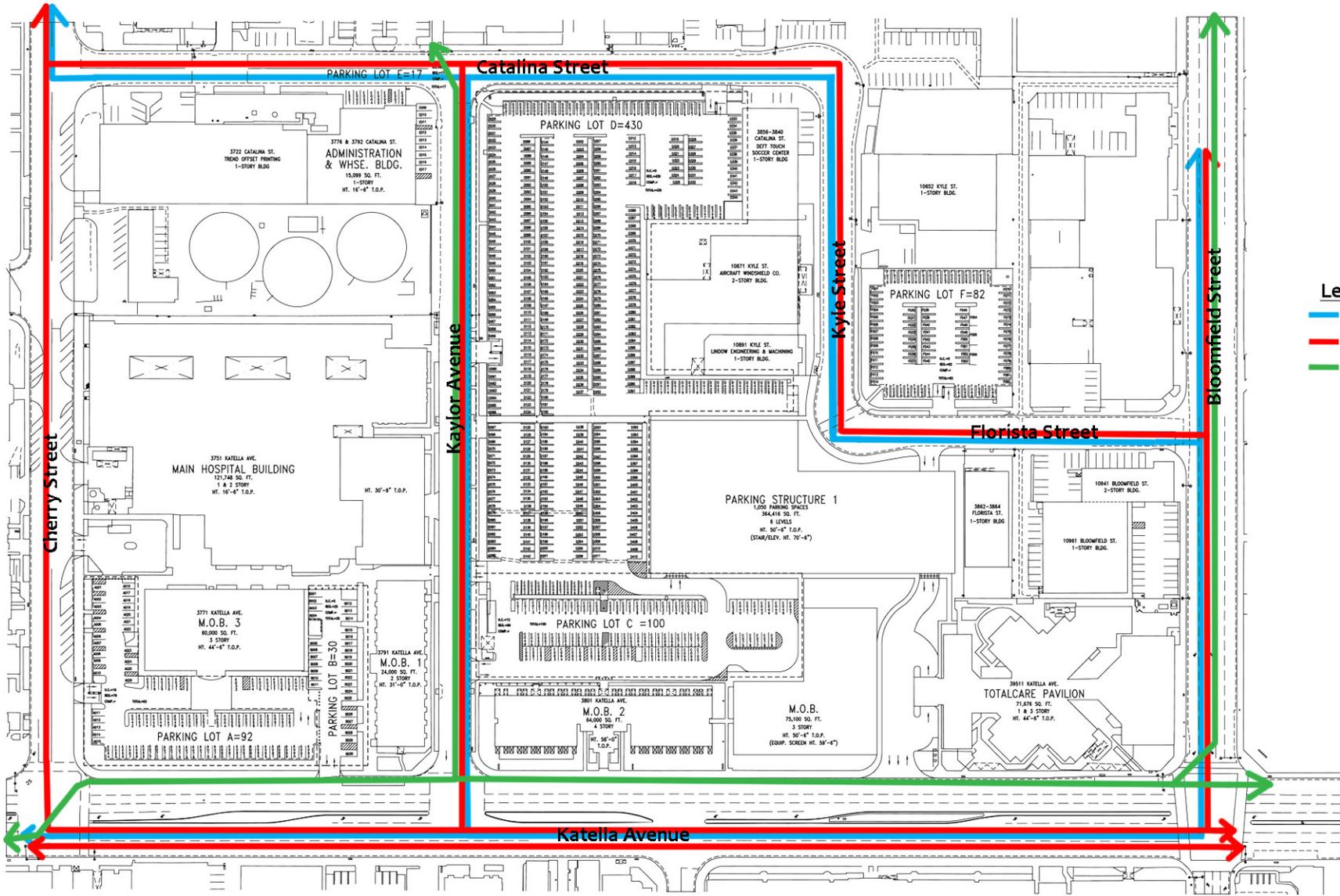


A Stormwater Pollution Prevention Plan would be prepared for each phase to address construction activities, and incorporate project-specific Best Management Practices to control pollutant discharges.

D. Grading

The existing site is generally flat in nature, with an elevation of approximately 27.5 feet above mean sea level on its eastern edge and an elevation of 25.5 feet along its western edge near the intersection of Katella and Cherry Street, an overall slope of approximately 0.2%. On-site parking lots are designed for positive drainage, sloping to parking lot area drains. No natural slopes or landforms are present on the campus.

Due to the flat nature of the site, grading for the new facilities will be minor and will consist of demolition of the existing asphalt parking areas, precise grading of the site of planned structures (which will be detailed at the site plan level of plan review once final architecture and site work has been designed), and placement of foundations for proposed new structures. Foundations for the proposed hospital/patient care buildings, Medical Office Building, and parking structure are anticipated to consist of either pier foundations or reinforced mat foundations, with no excavation due to shallow groundwater conditions in the region. No significant import or export of soil is expected to occur as part of site development. Prior to issuance of a building permit for any of the proposed structures, a site plan approval will be required, including a precise grading plan based on final architectural design.

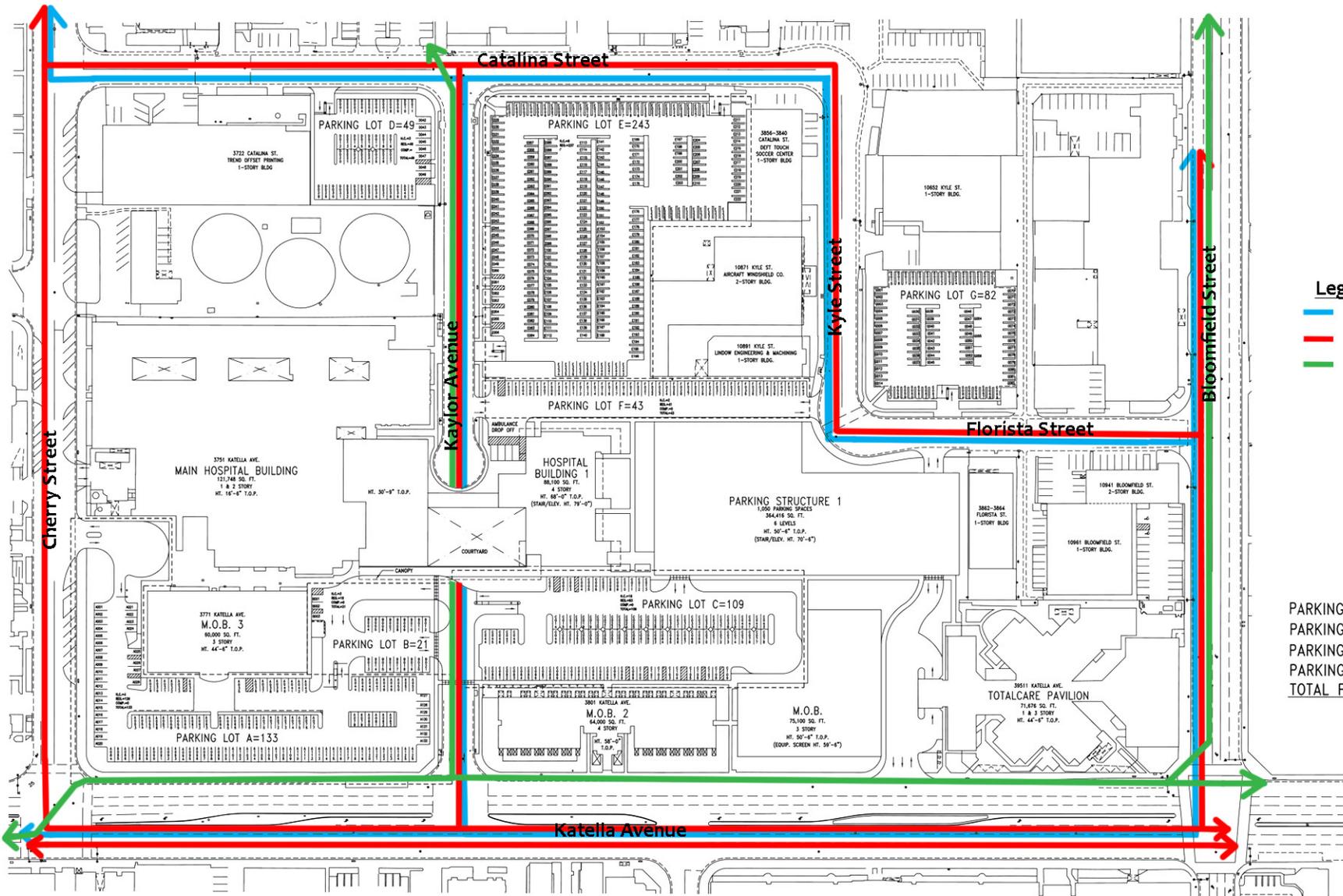


- Legend**
- Water
 - Sewer
 - Stormdrain

Note: It is anticipated that infrastructure for the expansion will “tie in” to existing infrastructure.



Source: Nu Architecture



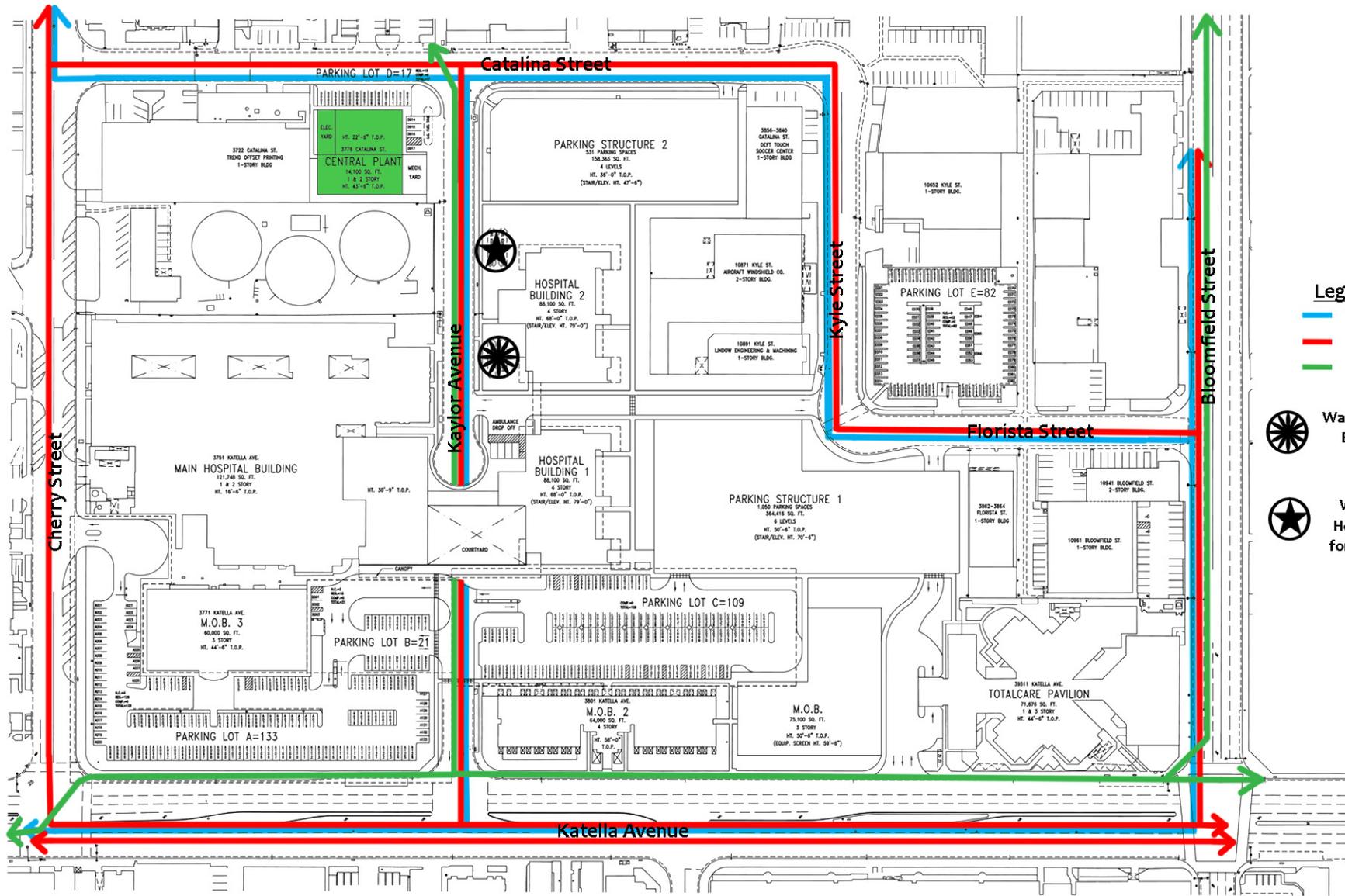
- Legend**
- Water
 - Sewer
 - Stormdrain

PARKING LOT E= 243
 PARKING LOT F= 43
 PARKING LOT G= 82
 PARKING STRUCTURE 1= 105
TOTAL PARKING: 1730

note: it is anticipated that infrastructure for the expansion will tie into existing infrastructure.



Source: Nu Architecture



- Legend**
- Water
 - Sewer
 - Stormdrain

-  Water Tanks for Emergency Supply
-  Wastewater Holding Tanks for Emergency Capacity

Note: It is anticipated that infrastructure for the expansion will “tie in” to existing infrastructure.



Source: Nu Architecture

E. Public Services and Utilities

The following services and utilities will be provided to the proposed medical facilities by the following providers:

1. Dry Utilities

Cable and Internet Service- Cable service for the Los Alamitos Medical Center Specific Plan will be provided by Time Warner Cable through connections to existing lines.

Telephone Service- Telephone service for the Los Alamitos Medical Center Specific Plan will be provided by Verizon through connections to existing lines.

Natural Gas- Natural Gas service for the Los Alamitos Medical Center will be provided by Southern California Gas. Existing gas lines ranging from 2 to 4 inches in size are located in Cherry Street, Catalina Avenue, Kyle Street, Florista Street, Bloomfield Street, and Katella Avenue.

Electricity- Electrical Power for the Los Alamitos Medical Center will be provided by Southern California Edison through connections to existing lines on surrounding streets.

2. Public Services

Fire Service- Fire service for the Los Alamitos Medical Center Specific Plan is provided by the Orange County Fire Authority (OCFA) and receives fire protection from two stations: Fire Station #2 and Fire Station #17. Fire Station #2 is located at 3642 Green Avenue, which is less than 0.2 miles southwest of the project site. Estimated response time to the Los Alamitos Medical Center is less than five minutes. Fire Station #17 is located at 4991 Cerritos Avenue in Cypress.

Police Service- Police service for the Los Alamitos Medical Center Specific Plan is provided by the Los Alamitos Police Department. The Police Station is located on Katella Avenue, several blocks west of the Specific Plan Area. Estimated response time to the Los Alamitos Medical Center is less than five minutes.

Solid and Hazardous Waste Disposal Service- Solid waste (trash) disposal service for the Los Alamitos Medical Center Specific Plan will be provided by Consolidated Waste Disposal. Hazardous and/or Medical Waste disposal services will be provided by Steri-Cycle.

SECTION 4 - DEVELOPMENT REGULATIONS

The Los Alamitos Medical Center Specific Plan is proposed as a single Specific Plan Land Use District, which includes hospital, medical office and ambulatory/skilled nursing care land uses. This section of the Los Alamitos Medical Center Specific Plan has been prepared in accordance with Government Code Section 65456, et seq. and the City of Los Alamitos Zoning Ordinance, and sets development regulations for all uses included within this Specific Plan.

Application of these regulations is specifically intended to provide for the orderly development of the site and effective fulfillment of the project objectives, while protecting the health, safety, and welfare of the employees and users, as well as those of the surrounding community.

A. General Provisions

1. Applicability

Upon adoption by Ordinance, this Specific Plan will constitute the zoning for the Los Alamitos Medical Center Specific Plan area. Subsequent development plans or agreements, tract or parcel maps, site plans, or any other action requiring ministerial or discretionary approval relative to the Specific Plan area must be consistent with the development regulations contained within this Chapter.

Where the regulations contained in this Specific Plan differ from the regulations of the City of Los Alamitos Zoning Ordinance, the regulations of the Specific Plan shall take precedence.

2. Determination of Unlisted Uses

Any land use not specifically covered by the provisions contained herein shall be subject to review and determination by the City Manager or designee.

3. Interpretation

Any ambiguities related to the implementation of the provisions of this Specific Plan shall be resolved by the City Manager or designee. Such interpretations shall take into account the stated goals and intent of this Specific Plan. Any interpretation made by the City Manager or designee may be appealed to the City Council.

4. Existing Uses

Existing uses within the Specific Plan area shall be deemed to be consistent with the Specific Plan provisions. If an existing building is demolished for seismic or any other reason, any new structure shall be permitted per the land use regulations herein as to use, setbacks, height, and intensity. Replacement of a structure with a new structure in compliance with the provisions of the Specific Plan shall not require an amendment to the Specific Plan but shall require site plan review as outlined herein.

B. Land Use Regulations

1. Allowable Uses

This Specific Plan provides for the development of a several uses within the project site, including hospital, medical office, and community service uses. Those uses expressly allowed within the Specific Plan area include:

- a) Acute Care Service
- b) Administrative services necessary and incidental to the management and administration of operations within the medical center, including admitting/registration, business offices, information services, patient services, social services, patient relations, medical records, blood bank, chapel
- c) Ambulance Service
- d) Ambulatory/Skilled Nursing Care, Surgicare Centers and Outpatient Care facilities and Surgical Centers
- e) Chemical Dependency Facilities
- f) Clinics and Medical Offices, including Medical, dental chiropractor, optometrist and psychiatric offices
- g) Diagnostic or Diagnostic Imaging Services
- h) Emergency Services
- i) Intensive Care Facilities
- j) Laboratories, including dental, pathology, blood
- k) Long Term Care
- l) Medical Center/Hospital/Inpatient services
- m) Medical Education Programs
- n) Meeting rooms/conference center as an ancillary use
- o) Newborn Care Services
- p) Obstetric Services
- q) Offices (Professional or Medical)
- r) Pharmacy
- s) Plazas, greenbelts, and similar uses
- t) Renal Dialysis Services
- u) Retail (incidental), including gift shops, florists, cafeteria, deli, coffee shop, book shop, medical supplies, and similar uses

- v) Retail (primary) including gift shops, florists, cafeteria, deli, coffee shop, book shop, medical supplies, and similar uses on the ground floor of medical office buildings with frontage on Katella Avenue.
- w) Signs constructed in accordance with City of Los Alamitos Municipal Code Chapter 17.28.
- x) Therapeutic Services
- y) Therapy and Rehabilitation including Physical Therapy, Occupational Therapy, speech or hearing therapy
- z) X-ray and imaging centers
- aa) Utilities, including central plant facilities, solar panels, water/wastewater holding tanks, and communications facilities (not to include cellular towers which are subject to a conditional use permit).
- bb) Any Other Medical services or uses as determined by the City Manager or designee, subject to the provisions of the Specific Plan outlined in section A above.

2. Temporary Uses and Special Events

Certain temporary uses are allowed within the Specific Plan area subject to approval by the City Planning Director, including:

- a) Construction offices or trailers associated with new construction or significant remodeling of the development's buildings, subject to approval of a building permit.
- b) Special events, community gatherings, and other similar events, subject to the provisions contained within the City of Los Alamitos Municipal Code.
- c) Other similar uses determined by the Community Development Director subject to conditions such as, but not limited to, location, appearance of temporary facilities, access, parking, signage, provision for sanitary services, duration of use, and provisions to ensure the removal of temporary facilities.

3. Conditional Uses

The following use is permitted subject to approval of a conditional use permit and site plan review by the City of Los Alamitos:

- a) Cellular towers and/or Antennae

C. Definitions

Definitions within the Los Alamitos Medical Center Specific Plan shall be the same as in the Los Alamitos Zoning Code Chapter 17.76 except for the addition of the following:

Central Plant: Shall mean a use that incorporates heating/air conditioning, bulk medical gases storage, water heating, medical vacuum, and emergency electrical generators to serve the medical center.

D. Site Development Standards

The Los Alamitos Medical Center Specific Plan allows for medical center/medical office/community service land uses, as described in the Land Use Plan. The following development standards shall apply to development within the Specific Plan area.

1. Intensity

The floor area ratio within the Specific Plan area as a campus, including the medical center, existing and new medical office uses, and the central plant, based on gross acreage, shall not exceed 0.75.

2. General Development Standards

The following general development standards shall apply throughout the Specific Plan area:

- Any area used for storage or equipment shall be visually screened and buffered in accordance with Chapter 17.16.130 C of the Municipal Code which requires the screening of roof or ground mounted mechanical equipment, loading docks, refuse storage areas and utility services to be screened from public rights of way by a minimum six-foot high masonry wall or fence, the details of which shall be included in the required site plan submittal. Such screening shall be architecturally compatible with other on-site development in color, material and style.
- All lighting shall be designed and located so as to confine direct rays to the premises.

3. Height

Within the Los Alamitos Medical Center will be several new mid-rise structures including two four story hospital/patient care buildings, a three story medical office building, and four- and six-level parking structures. Maximum heights shall be as follows, measured from top of parapet to finished grade:

- New Buildings: Maximum of four (4) stories or 70 feet (whichever is greater), measured to top of parapet.

The following structures may exceed the allowed height:

- a. Plumbing vents, chimneys, etc;
- b. Fire walls;

- c. Mechanical features such as air conditioners, tanks, fans and similar equipment located on rooftops must be screened, but the architectural features used to provide that screening are not considered as part of the building for purposes of determining building height, so long as features do not exceed the minimum amount required to achieve screening.
- d. Skylights
- e. Stair/Elevator structures
- f. Solar panels
- g. Architectural theme elements

4. Setbacks

The following are required minimum building setbacks for new construction in the Specific Plan area:

Katella Avenue:	10 feet
Cherry Street:	10 feet
Catalina Street:	10 feet
Florista Street:	10 feet
Bloomfield Avenue:	10 feet
Kaylor Street:	5 feet
On-site:	
Rear Yard:	none
Side Yard:	none

Perimeter street setbacks shall be measured from the right-of-way line. Projections into required setbacks shall be allowed in accordance with the Municipal Code and may include columns.

5. Building Separation

- Internal Buildings with the Medical Center Campus: Minimum building separation shall be provided in accordance with the IBC/UBC requirements.
- Adjacent buildings outside the boundaries of the Specific Plan: 10 feet

6. Landscaping Requirements

All landscaping and irrigation systems and plans shall conform to the requirements of the City of Los Alamitos Municipal Code and incorporate drought tolerant plants. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the project.

- a. Parking Lot Landscaping. Each off-street open surface parking lot shall provide an area, or

areas, landscaped equivalent to twenty (20) square feet for each parking space and shall include one fifteen (15) gallon tree for each one thousand five hundred (1500) square feet of parking area. Required landscaping may be provided in any of the following areas:

- along the periphery of the parking area,
- internal to the parking areas
- within plazas or other common landscaped areas of the Specific Plan.

b. Site Plan Review Submittal. A landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Planning Director. Fifteen (15) percent of the site shall be in landscaped areas. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.

7. Fencing

Any and all fencing and walls installed as part of this project shall conform to the requirements of the City of Los Alamitos Municipal Code.

8. Parking Requirements

a. Off-Street Parking Requirements

Parking shall be calculated in accordance with the ratios established by the Municipal Code and summarized below:

Use	Parking Requirement
Hospital/Medical Center	1.75 spaces/bed
Medical Office	5 spaces/1,000 sf (gross)
General Office	4 spaces/1,000 sf (gross)
Retail Commercial	4 spaces/1,000 sf (gross)
Central Plant	1 space/500 sf (gross)*

* At the time of site plan review the parking requirement for the Central Plant shall be determined based upon the floor plans for the final design, calculated at the Central Plant ratio identified above. If no office space is present, no parking will be required.

b. In accordance with Title 24 of the California Building Code, handicapped parking spaces shall be provided and located as close to the buildings as is feasible.

c. The parking space size for this project shall be 9-feet wide by 19-feet long for open

parking lot areas and 9-feet wide by 18-feet long within parking structures.

- d. Parking for disabled persons shall be provided in accordance with the Americans with Disabilities Act.
- e. A minimum width of 24 feet shall be provided for two-way drive aisles of parking areas.

9. Signage

Signage within the Specific Plan area shall conform to the Los Alamitos Signage Ordinance, Chapter 17.28 of the Municipal Code or an adopted sign program approved by the Community Development Director.

10. Development Standards Modifications

A significant deviation for development standards may be allowed only by action of the City Council. The council may grant one or more modifications only if the following findings of fact can be made:

- a. The modification(s) is necessary to properly implement a physically and economically viable project; and
- b. The modification(s) would ensure compliance with the general purpose and intent of the adopted specific plan.

SECTION 5 - DESIGN GUIDELINES

A. Introduction

This section identifies design guidelines, which provides an overall vision for the expansion of the Los Alamitos Medical Center. The guidelines offer design guidance in the areas of architecture, landscape, and public spaces to ensure a certain level of aesthetic quality and functional efficiency, as well as compatibility between the project’s components and surrounding community. The intent of the design guidelines is to encourage the highest level of design quality and creativity to ensure an atmosphere of wellness.

The Los Alamitos Medical Center is an infill project providing additional hospital/patient care buildings, medical office space and structured parking over a 25-year build-out. These guidelines should be used to guide the development and provide the City of Los Alamitos an evaluation tool for site plan review. Guidelines for site planning, architecture, landscape architecture are provided below.

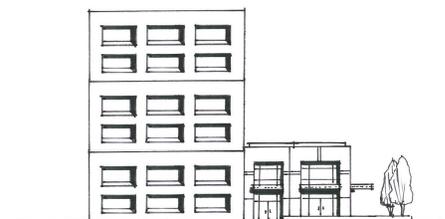
B. Site Planning

1. General

- a. The arrangement of new buildings, parking and circulation areas should recognize the particular characteristics of the site and should relate to the surrounding built environment.
- b. Appropriate linkages between internal project components and buildings, as well as between the project and the surrounding development should be incorporated, including pedestrian walkways, and plaza areas.
- c. Buildings should be arranged to create opportunities for open space amenities (e.g., plazas, courtyards, outdoor eating areas, etc.), consistent with the existing hospital configuration.
- d. Loading, delivery service areas, outdoor storage, stand alone mechanical facilities, should be located and designed to minimize their visibility, circulation conflicts and adverse noise impacts. Sound attenuation walls should be used where appropriate to reduce noise where required by code or the project’s environmental analysis.
- e. The mass and scale of new buildings should be compatible with the existing, adjacent structures. This can be accomplished by transitioning from the



Designated outdoor seating area.



height of adjacent buildings to the tallest elements of the new building, stepping back the upper portions of taller buildings, and incorporating human scale elements, such as pedestrian scaled doors, windows, and building materials on the ground floor.

2. Access and Parking

- a. The use of common (shared) access points and driveways is encouraged; placement of vehicle access points close to building entries should be avoided to minimize pedestrian and vehicular conflicts.
- b. Entry drives should be clearly marked by special features, (e.g., enhanced paving, prominent landscape features, low-level decorative walls, and well-designed monument-type signs).
- c. Access to each building should be clearly visible to pedestrians and motorists through signage, color, and/or design elements.
- d. Service and loading areas should take access from shared access points.
- e. Parking lots adjacent to and visible from public streets should be appropriately screened to minimize undesirable visual impacts.
- f. Parking lots should not be the dominant visual element on the site from Katella Avenue.
- g. Surface parking areas should be divided through the use of trees and landscape improvements.
- h. Surface parking areas should be divided into smaller multiple lots and provided with canopy trees located throughout the parking area to reduce the effects of heat gain.
- i. Internal vehicular and pedestrian circulation should interconnect in an obvious and consistent manner.
- j. Parking should be provided within walking distance of all tenants and public sidewalks, located at the side and/or to the rear of the building or site.
- k. Parking lot design shall include water quality storm water facilities consistent with City standards and the Final Water Quality Management Plan prepared for each phase.



Safe and convenient pedestrian routes.

C. Architecture/Orientation/Massing

1. General Architecture

- a. The architectural style should consider compatibility with the surrounding character.
- b. Possible architectural styles and contemporary interpretations of similar styles should reflect the overall theme of the project site. Architectural theme should be consistent with the City's Spanish theme as stated in the General Plan.



- c. Buildings should be divided into distinct massing elements and should be articulated with architectural elements and details.
- d. Facades should be 'divided' by vertical and horizontal variations in wall planes, building projections, door and window bays, and similar elements. Building articulation should be present on the side and rear walls of the building.



- e. Unique architectural elements, where provided, should be positioned to be included in key views of newly constructed buildings and structures including parking structures, signage and outdoor furniture and seating areas

Vertical and horizontal variations

2. Orientation

- a. The orientation of the newly constructed buildings should facilitate and encourage pedestrian activity and convey a visual link to the project's internal road system.
- b. Building orientation should take into consideration the site's characteristics, surrounding adjacent uses, and the location of major access points.
- c. Buildings should be oriented in a manner that takes advantage of passive solar design.

3. Massing

- a. The massing and scale of the buildings should respect the visual and physical relationship of adjacent buildings.
- b. Distinct architectural elements should divide and articulate all newly constructed building facades, in order to soften the scale and mass of buildings.

- c. Changes in height, horizontal plane, materials, patterns and colors should be used to reduce building scale and mass.
- d. All building elevations, whether front, side, or rear should be architecturally detailed.
- e. Primary building entries should be easily identified through the use of prominent architectural elements; signage, landscaping, lighting, canopies, roof form, and hardscape, architectural projections, columns, vertical elements, and other design features that help emphasize a building's entry.

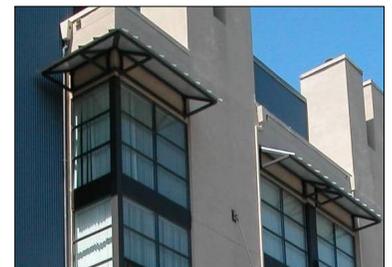
Roof Form

- f. Roofs should be designed as an integral component of building form, mass, and facade. Building form should be enhanced by varying and offset roof planes, eave heights, and rooflines.
- g. Green roofs and rooftop gardens are allowed to add landscaping, decrease the heat island effect of large expanses of flat roofs, retain and filter storm water run-off, and to reduce energy demand for heating and cooling buildings. Green roofs are not a requirement.



Window Treatments

- h. Window shades are allowed on the ground floor and upper floors of all building types.
- i. Window shades may project up to four feet from the facade.
- j. If a window shade projects over a sidewalk or walkway, at least eight feet of vertical clearance shall be provided between the ground surface and the lowest point of the window shade (including structural supports).
- k. Both horizontal and vertical window shades are encouraged to reduce internal temperatures during hot summer months.
- l. Window shades may extend over sidewalks, pedestrian plazas, and public spaces.



Window shades should be incorporated as part of the overall building design.

4. Color and Materials

- a. Colors and materials should be consistent and complementary throughout the project area.
- b. Building colors and materials should be subtle neutral tones with brighter colors used for

accents and details.

- c. Exterior materials and architectural details should compliment each other and should be stylistically consistent.
- d. Building materials should be durable and resistant to damage, defacing, and general wear and tear. Acceptable building materials may include concrete, stone masonry, metal, stucco, glass and/or other contemporary composites.
- e. Building materials should support wellness. Use of sustainable materials and local resources (e.g. locally available, contain high recycled-content, are reused, come from renewable sources, and that contain low volatile organic compound (VOC) levels) is highly encouraged.

5. Screening and Mechanical Equipment

- a. All screening devices should be compatible with the architecture, materials and colors of the building.
- b. Plant facilities, loading and service areas should be screened from public view from all on- and off-site vantage points, visibly separated from all public entrances and parking areas.
- c. Utility and mechanical equipment should be screened from view of public streets and nearby buildings on all sides with landscaping and/or architectural elements.
- d. Rooftop mounted equipment visible from the surrounding area or adjacent buildings should be screened. Where rooftop equipment is visible from higher buildings, it should be painted to match the roof color.
- e. Trash receptacles areas should be completely screened from public view with a combination of solid walls, wood, and landscaping.



Screening with architectural wing wall.

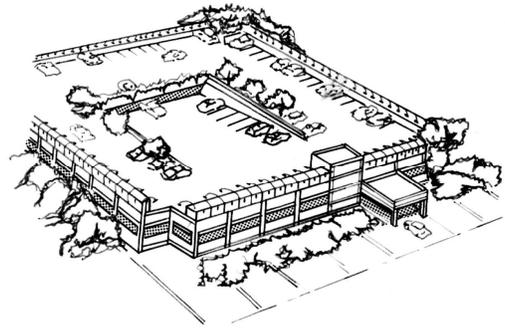
6. Parking Structures

Design

- f. Parking garages should be designed to help reduce the mass and scale of the garage and to ensure their compatibility with surrounding uses.
- g. Conceal view of vehicles in the garage through a combination of screen walls and plantings while providing adequate visibility for security purposes.
- h. Design the garage's exterior elevations to avoid a monolithic appearance. This can be

accomplished through a menu of options as follows:

- Minimize horizontal and vertical banding by balancing both horizontal and vertical elements.
- Use simple, clean geometric forms, and coordinated massing.
- Size openings in the parking garage to resemble large windows as in an office building.
- Use masonry materials that are predominantly light in color, but avoid unpainted concrete.
- Avoid a sloping ramp appearance by providing level and uniform spandrels.
- Visually define and differentiate between pedestrian and vehicular entrances through appropriate architectural detailing.



Use of simple clean forms and landscaping.

Access and Circulation

- a. Vehicle stacking areas for entering and exiting traffic should be sufficiently long to minimize traffic backup into surrounding streets or within the garage. A minimum of two vehicle lengths of stacking distance should be provided between the street and the control gate.
- b. The maximum aisle length should not exceed 400 feet without providing a cross aisle.
- c. To the extent feasible, ramp grades should not exceed 10 percent and parking areas should not exceed a slope of four to five percent.

Security and Lighting

- a. The design of the garage should eliminate possible hiding places and openings that could allow random pedestrian access.
- b. For security reasons, at least one side of the stair tower should include an opening running vertically the height of the tower.
- c. Stairs and elevators should be located adjacent to a street on the exterior of the structure where lobbies can be exposed to outside view. Safe pedestrian street crossings should be taken into consideration.
- d. The use of security cameras is encouraged.
- e. A minimum of five foot-candles of illumination should be provided inside the structure. Higher levels are recommended for remote areas subject to security problems such as stairways, elevators, and other pedestrian access points.

- f. Lighting levels should be equally distributed to provide uniform illumination over all parking areas.
- g. Light sources should be shielded so that the source of the illumination is not seen from outside the structure.

D. Landscaping

A Landscape Concept Plan for the Los Alamitos Medical Center will be provided at the time of site plan review to provide for a unified concept for the campus.

1. General

- a. King Palms shall be planted at project entries at a rate of two trees per entrance. Trees shall be 24-inch box sized materials.
- b. 24-inch box trees shall be planted in streetside setbacks of all public streets within the specific plan area. Trees shall be of a consistent type and match the existing condition.
- c. All areas not covered by buildings, walkways, driveways, parking spaces, and service areas should be landscaped (drought tolerant plantings and sustainable hardscapes).
- d. Landscaping should enhance the quality of the project by framing and softening the appearance of buildings, defining site functions, screening undesirable views and buffering incompatible uses.
- e. Landscaping at the base of buildings is encouraged to soften the transition between building and parking lot.
- f. Landscaped areas should generally incorporate plantings utilizing a three tiered system: 1) trees, 2) shrubs or vines, 3) groundcover. Landscaping should be in scale with the adjacent buildings and be of appropriate size at maturity.
- g. Placement of landscaping should not interfere with the lighting of the project area or restrict access to utilities.
- h. Landscaping should be utilized to define edges, buffer neighborhood properties, screen parking areas and storage areas.
- i. Planters and pots placed in building recesses, adjacent blank walls, plazas, and courtyards are encouraged. Planters and pots should complement the building architecture.



- j. Where parking lots abut buildings, landscaping around the base of the buildings is encouraged to soften the edge between the building and the parking lot.
- k. Street trees should be spaced appropriately (in parkway strips or in tree-wells within wider sidewalks or plazas) to emphasize and reinforce the spatial definition between the building, pedestrian environment and the street.
- l. In order to reduce the heat-island effect, space parking lot trees to achieve shading at ratios required by the development regulations of this Specific Plan.



- m. Textured paving materials should be used in pedestrian areas such as pedestrian courtyards and plaza areas and must be used in driveways within setbacks of all parking areas, and within passenger drop-off areas of medical office and hospital buildings.
- n. Paving materials should include pervious hardscape materials, where possible.

- o. Bio-retention areas can be used to detain run-off in planted swales, raised open-bottomed planters, etc.



- p. Site furnishings including fixed and moveable seating, trash receptacles, bike racks, and pedestrian scaled lighting should be of durable and sustainable materials.
- q. Design and selection of site furniture should include considerations for the security, safety, comfort and convenience of the user.

- r. A unified site furniture “look” is encouraged. The color and appearance of site furniture products should be selected to complement other design elements.



- s. Bollards should be used at pedestrian crossings to emphasize the pedestrian nature of the street in specific locations, enhancing safety.



2. Walls and Fences

- a. Wall and fence design should complement the project's architecture. Landscaping may be used to soften the appearance of the wall surface.
- b. Solid walls should incorporate pilasters with decorative caps and offsets, consistent with the overall architecture.
- c. Landscaping should be used to soften the appearance of the wall surfaces and deter graffiti.

3. Lighting Design

- a. The type and location of parking area and building lighting should preclude direct glare on to adjacent properties.
- b. Pedestrian scale lighting should be present at all entries, plazas, courtyards, parking lots, pedestrian ways, and other areas where nighttime pedestrian activity is expected.
- c. Lighting design of fixtures and their structural support should be architecturally compatible with the architecture of the project.
- d. When appropriate, wall-mounted lighting may be incorporated. Wall-mounted lights should be compatible with the building's architectural style.



Architectural wall mounted lighting.

4. Signage

- a. The character of the signage, including the location, size, height, design and lighting should be in keeping with the architectural character and monument style of the overall project.
- b. Signs should make a positive contribution to the desired character of the project and overall streetscape and provide for clear identification and wayfinding.
- c. Vehicle and pedestrian circulation throughout the project site, to parking and various destinations should be enhanced through a comprehensive system of directional signage and related wayfinding elements.



SECTION 6 - IMPLEMENTATION

A. Applicability

The provisions of this section of the Los Alamitos Medical Center Specific Plan are applicable to the considerations of development activity and land use within the boundary of the Specific Plan as defined on Exhibits 3-5, *Land Use Plan*. The regulations, development standards and guidelines as contained in the Specific Plan shall apply in their entirety in the review of development proposals, site plans, and building permits within its boundaries.

B. Administration

The City of Los Alamitos shall administer the provisions of the Los Alamitos Medical Center Specific Plan in accordance with the State of California Government Code, Subdivision Map Act, Los Alamitos General Plan, and the Development Code.

1. Adoption

The Los Alamitos Medical Center Specific Plan shall be adopted by ordinance in accordance with the City Code. The Specific Plan shall serve as the zoning for the subject property.

2. Enforcement

The Los Alamitos Medical Center Specific Plan serves as the implementation tool for the General Plan and zoning for the Specific Plan area. The Specific Plan addresses permitted uses, development standards, and design guidelines.

The City shall enforce the provisions of this Specific Plan in the same manner that the City enforces the provisions of the Municipal Code (Chapter 17.74).

3. Interpretation

The development standards and regulations contained in this Specific Plan shall replace and supplement the standards contained in the Municipal Code, except where specifically provided in the Specific Plan. Whenever the provisions contained in the Specific Plan conflict with the Municipal Code, the provisions of this Specific Plan shall prevail. Any ambiguity concerning the content or application of the Los Alamitos Medical Center Specific Plan shall be resolved by the City Manager or designee. Such interpretations shall take into account the stated goals and intent of the Specific Plan.

4. Severability

If any portion of this Specific Plan and its regulations are declared to be invalid or ineffective in whole or in part by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof. The legislative body hereby declares that they would have enacted these regulations and each portion thereof irrespective of the fact that any one or more portions be declared invalid or ineffective.

5. Appeals

An appeal from any determination, decision, or requirement of City staff or the Planning Commission shall be made in conformance to the appeal procedures established by the Los Alamitos Development Code.

C. Specific Plan Modifications and Amendments

Development proposals within the Los Alamitos Medical Center Specific Plan area shall be deemed consistent if proposals meet the standards within this Specific Plan.

1. Substantial Conformance and Minor Modifications

Minor modifications to the Los Alamitos Medical Center Specific Plan shall not require a Specific Plan Amendment, and shall be subject to a “substantial conformance” determination, an administrative mechanism by which minor modifications to the Specific Plan which do not result in significant impacts and are consistent with the intent of the Plan, shall be permitted without a formal amendment process. The City of Los Alamitos Community Development Director shall make determinations of substantial conformance.

Minor modifications that meet the above “substantial conformance” determination may include, but are not limited to, modifications necessary to comply with final Conditions of Approval or modifications affecting infrastructure, public services and facilities, landscape, and other issues except those affecting project development regulations. The following minor modifications to the Los Alamitos Medical Center Specific Plan shall not require a Specific Plan Amendment, and shall be subject to the substantial conformance determination procedure set forth above:

- Change in utility and/or public service provider or location;
- Provision for construction of the Central Plant and/or other legally required facilities. In the event that the milestone for site plan submittal for the third phase is not met, these facilities shall continue to be ministerially allowed under the Specific Plan to meet state/OSHA code requirements.
- Change in internal driveway alignment, width, or improvements subject to approval by the city engineer;
- A bed count transfer between the hospital and two hospital/patient care buildings, as long

as the number of hospital beds as identified in the land use plan is not exceeded by phase.

- Minor changes to landscape or entry design which are consistent with the design criteria set forth in Section 6, *Design Guidelines*, of the Specific Plan.
- Minor changes to the architectural or landscape design guidelines, which are intended to be conceptual in nature and flexible in implementation.
- Modification of any design element in this Specific Plan that improves circulation, reduces grading, improves drainage, or improves infrastructure.
- Refinements to Specific Plan language which increase clarity and do not change policy intent

The Minor Modifications described and listed above are not comprehensive. Any Minor Modification that is deemed by the Community Development Director to be in substantial conformance with the purpose and intent of the Specific Plan shall be permitted.

2. Amendments

Development proposals that do not meet the above Specific Plan consistency requirements, or that are not found to be in substantial conformance with the Specific Plan, shall require a Specific Plan Amendment. The applicant may request amendments to the Specific Plan at any time pursuant to Section 65453(a) of the Government Code and Chapter 17.52 of the Municipal Code.

An amendment to the Specific Plan will require review and approval by the City of Los Alamitos Planning Commission, and City Council using the same procedures under which it was adopted as specified in Chapter 17.52 of the Municipal Code. Such amendments require an application and fee to be submitted to the City Planning Department, stating in detail the reasons for the proposed amendment. The specific plan may be amended as often as deemed necessary by the council, in compliance with state law.

In the event the proposed amendment requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) will be responsible for associated fees for the preparation of necessary CEQA documentation.

D. Environmental Impact Report and Mitigation Monitoring

The Los Alamitos Medical Center Specific Plan has been prepared in conjunction with an Environmental Impact Report (EIR), which identifies potential impacts resulting from the proposed development. The certification of the EIR occurred prior to approval of the Specific Plan and included a Mitigation Monitoring and Reporting Program (MMRP) with provisions to reduce potentially significant impacts as well as Findings and a Statement of Over-riding Considerations. As the lead agency, the City will implement the monitoring program that includes the approved mitigation measures and is applicable to all future development under the Specific Plan. The MMRP is located in the Appendix of this document.

The EIR serves as the primary environmental clearance document for the Specific Plan and all future development undertaken within the Specific Plan area. Developments that require discretionary review and are in conformance with this plan shall only be reviewed for potential environmental impacts that were not considered as part of the approval of the plan.

E. Subsequent Development Entitlements

1. Final Site Plan Review

The land use exhibits within this Specific Plan identify at a conceptual level the intended location and footprint of the uses proposed within the Medical Center campus. Prior to issuance of a building permit for any structure or improvement within the Specific Plan area, a site plan must be submitted for review by the City in accordance with Chapter 17.50 of the Municipal Code except as noted herein. A site plan for each phase is required.

The purpose of the site plan review procedure is to enable the Community Development Director to check development proposals for conformity with the provisions of the Specific Plan and zoning code and to allow the director to impose conditions on the development or project as are necessary to bring it into conformity with the general plan, surrounding development, and city policies and regulations with respect to on-site and off-site dedications and improvements.

Review criteria for a site plan shall:

- a. Ensure that the design and general appearance of the proposed structure(s) are in compliance with the purpose of this chapter; and
- b. Consider the location, design, site plan configuration, and the overall effect of the proposed project upon the surrounding neighborhood and the city in general.

Review shall be conducted by comparing the proposed project to applicable Specific Plan development standards, design guidelines, and other applicable city ordinances.

A site plan review application shall be filed in accordance with Chapter 17.50 of the Municipal Code. Typical items associated with the submittal of a site plan review application consist of the following:

- A fully dimensioned Site Plan
- A Drainage and Grading Plan (new construction only)
- A Conceptual Landscaping Plan showing street trees, parking lot and perimeter landscaping, paving treatments, pedestrian plaza /seating areas adjacent to each building, furniture, and coordinated linkages between buildings.
- Illustrative Building Elevations
- A colors/materials sample board

- One set of colored plans
- A “Property Owner’s” Certification and Agent Form
- Required Application and Environmental Assessment Fees
- Current Title Report (within the last 6 months)
- Completed Fact Sheet
- Final Water Quality Management Plan
- Property Owner’s List
- Any mitigation requirements specified by the project’s Environmental Impact Report.

These items may be subject to change and should be confirmed with City Planning Staff prior document preparation and application submittal. Upon submittal of the above-listed items, the site plan application shall be reviewed and approved, with or without conditions, if the Planning Commission can make the following findings as outlined in Chapter 17.50 of the Municipal Code:

- The design and layout of the proposed development are consistent with the development and design standards/guidelines of the Specific Plan;
- The design and layout of the proposed development would not interfere with the use and enjoyment of neighboring existing or future developments;
- The design would maintain and enhance the attractive, harmonious, and orderly development contemplated by the Specific Plan;
- The design of the proposed development would provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color, and would remain aesthetically appealing and retain an appropriate level of maintenance;
- The proposed development would not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity; and
- The proposed development would not substantially depreciate property values in the vicinity.

2. Conditional Use Permits (CUP)

Conditional Use Permits shall be required for land use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area. Such uses are specified in the Development Regulations section of this document. Applications for conditional use permits shall be reviewed for the configuration, design, location, and potential impacts of the proposed use, to evaluate the compatibility of the proposed use with surrounding uses, and the suitability of the use to the site, to ensure the protection of the public convenience, health, interest, safety, and welfare.

Conditional Use Permits must be reviewed and approved by the Planning Commission at a noticed public hearing before a use is allowed. Conditional Use permits shall be required for such uses specified in Chapter 5 of this Specific Plan as requiring a Conditional Use Permit and shall be processed as specified under Chapter 17.42 of the Los Alamitos Municipal Code.

3. State Review

Prior to the construction and operation of a hospital facility, review and approval is required at the state level from the Office of State Health Planning and Development (OSHPD) and Department of Health Services (DHS). This is part of the approval and licensing process for hospitals and is outside of the purview of the City of Los Alamitos. Buildings requiring OSHPD review include the existing hospital building when it is reconfigured, and the two planned hospital/patient care buildings. The existing Total Care Pavilion is also a licensed facility subject to OSHPD and DHS review at the state level rather than building permit review through the City Building and Safety Department. The new medical office building would not require OSHPD or DHS review.

F. Phasing

Development within the Los Alamitos Medical Center Specific Plan area is expected to occur in three general phases as outlined below. Within each phase there may be sub-phases related to construction sequencing.

Three existing medical office buildings and the existing hospital will remain. Phasing for the Los Alamitos Medical Center expansion consists of the following elements (refer to Exhibits 3-5, *Land Use Plan*), broken down by subphase/construction sequence.

A construction management plan will be prepared as part of the site plan submittal to outline construction staging as well as provisions for employee parking and parking management during construction.

Phase 1

- Construction of a new medical office building on the Katella Avenue project frontage, totaling 75,100 gross square feet;
- Extension of infrastructure to serve the new Medical Office Building.
- Construction of a new parking structure on the north side of the medical office building.
- Vacation of the existing right-of-way for Kaylor Street (no reconfiguration) to act as a private street.

Phase 2

- Demolition of an existing 24,000 square foot medical office building located at the northwest corner of Kaylor Street and Katella Avenue to allow for reconfiguration of surface parking

areas;

- Demolition of an existing 15,099 square foot warehouse building along Catalina/Kaylor Street;
- Reconfiguration of surface parking and reconfiguration of Kaylor Street north of the hospital building.
- Construction of a new 4-story hospital/patient care building totaling 92 beds, resulting in a 38 bed net increase as a portion of the existing hospital will be renovated resulting in a reduced bed count.
- Reconfiguration of the existing hospital's bed count and relocation of the existing emergency room to the new hospital/patient care building. The existing hospital bed count would be reduced to 113 beds from the present total of 167;
- Extension/Construction of infrastructure to serve the new hospital/patient care building.

Phase 3

- Construction of a Central Plant to service the new and existing hospital buildings.
- Construction of a second hospital/patient care building totaling 126 beds to the north of the Phase 1 hospital/patient care building and required subsurface water and wastewater tanks; and
- Construction of an additional parking structure and surface parking to meet Specific Plan parking standards.
- Phase 3 is conditional, requiring submittal of a complete application for Site Plan Review of Phase 3 by the tenth (10th) anniversary of effective date of the Ordinance approving the Specific Plan. Should the applicant fail to submit a complete application for site plan review of Phase 3 by the tenth anniversary of the effective date of the ordinance, the approvals for all structures for which no site plan review has been submitted shall be null and void.

G. Financing

Improvements identified within this Specific Plan are private in nature and will be financed by the project applicant and/or developers within the boundaries of the medical center campus. No public financing is assumed.

SECTION 7 - APPENDICES

A. General Plan Consistency

This section reviews the goals and policies of the Los Alamitos General Plan that are most relevant to the Los Alamitos Medical Center Specific Plan Project Area. The analysis below provides a discussion of consistency with the Los Alamitos General Plan and the Los Alamitos Medical Center Specific Plan.

Land Use Element

Goal: Promote and upgrade the quality of the City's commercial, industrial, and open space areas.

Policy 1-1.1: Employ accepted planning and engineering standards and practices as the basis for determining the compatibility of new land uses with existing land uses.

Policy 1-1.3: Maintain consistency among General Plan Policies and programs, and related development regulations.

Policy 1-1.4: Encourage Commercial, Office, and industrial uses which are compatible with surrounding residential neighborhoods.

Policy 1-3.1: Apply appropriate and consistent standards in land use and site plan approvals to achieve continuity and cohesion in the physical development of the City.

Policy 1-4.1: Consider the fiscal impacts to the City as an integral part of land use decision making.

Policy 1-4.2: Base Land Use Decisions on reasoned analysis incorporating technical standards for review included in the respective elements of the General Plan.

Policy 1-4.3: Consider General Plan policies and programs in making land use decisions.

Analysis

The Los Alamitos Medical Center Specific Plan will directly implement the General Plan Land Use Goal and Policies above. The City of Los Alamitos is concerned with the issues of compatibility among land uses, overall unity and cohesion, and long-term fiscal viability. The Los Alamitos Medical center Specific Plan addresses these issues by establishing a logical development framework for the future expansion of the medical center. The expansion includes the demolition of an existing Medical office building (MOB) and an administrative building, construction of two new hospital/patient care buildings each totaling 88,100 square feet, and construction of a new medical office building (MOB "A") totaling 75,100 square feet. Two new parking structures will also be constructed on-site to meet parking code requirements for the entire campus. A General Plan Amendment will be processed concurrently with the Specific Plan so that the existing multiple General Plan Land Use Designations are re-named to a Land Use Designation that encompasses the entire Specific Plan area. The Specific Plan will govern all development regulations pertaining to the Specific Plan area. It is not anticipated

that proposed expansion will result in a nuisance to nearby residents; impacts associated with the campus expansion will be analyzed by technical analyses as part of an Environmental Impact Report that will be approved by the City. When complete, the newly constructed medical facilities will allow the medical center to provide valuable medical services to residents within the area. In order to achieve high quality design consistency and proper building placement, appropriate development standards and design guidelines have been adopted that will ensure uniformity and desired architectural appearances through the Specific Plan Area. In addition, the Los Alamitos Medical Center Specific Plan will result in creation of jobs and, as a public service facility, will result in economic viability throughout and beyond the life of the Specific Plan.

Conservation Element

Goal: Preserve and enhance the quality of the City's Landscaped Environment.

Policy 2-1.1: Encourage the use of drought tolerant landscapes in new developments and encourage the replacement of water consumptive landscapes.

Policy 2-1.2: Encourage the conservation of water used for irrigation in parks, golf courses, recreation areas, commercial and industrial uses, and schools through the use of low-flow drip systems and water-efficient irrigation systems.

Policy 2-1.3: Comply with the policies and programs contained in the City's Water Conservation Ordinance.

Policy 2-2.3: Provide safe and efficient facilities for pedestrians and bicyclists, integrating these with the county-wide system.

Analysis

The Specific Plan includes design guidelines and development regulations that require drought-tolerant landscaping in accordance with city requirements. Irrigation would incorporate water efficient systems.

Safety Element

Policy 3.2.2.1: Require all new development to comply with seismic safety standards incorporated in current Building Codes.

Analysis

The Los Alamitos Medical Center Specific Plan will directly implement the Safety Element Policies above. All new buildings will be constructed in accordance with the most current Universal and Local Building Code Standards available. Hospital building (including the new hospital/patient care buildings and the reconfigured main hospital building) are subject to independent state review by the Office of State Health Planning and Development (OSHPD).

Circulation and Transportation Element

Goal: Provide an efficient network of streets, bikeways, and pedestrian areas which promote the safe and efficient movement of people and goods.

Goal: Provide adequate off-street parking and loading facilities for businesses and public facilities throughout the City.

Goal: Maintain safe and adequate infrastructure services.

Policy 5-1.1: Maintain a level of Service “D” or better on all city Arterials and at intersections.

Policy 5-4.2: Adequately illuminate and landscape City sidewalks and public areas to encourage pedestrian-oriented activities.

Policy 5-5.2: Provide adequate on-site parking at civic facilities (parks, City Hall, Los Alamitos Community Center, etc.)

Analysis

The Los Alamitos Medical Center Specific Plan will directly implement the Circulation Element Goals and Policies above.

- On-site parking will be provided as outlined in Specific Plan Tables 3 and 4 that meets or exceeds the City’s parking standards for medical office and hospital uses, bringing the entire campus up to parking code.
- A Traffic Impact Analysis will be prepared for the project as part of the required environmental analysis, and measures proposed that would mitigate the project’s significant impacts to City streets and arterials, based on established city thresholds.
- Project lighting on streets and within parking lots will be provided to meet city requirements for illumination.

In accordance with General Plan Policies 5-7.1 and 5-7.2, adequate water and sewer service will be provided to serve the existing and expansion areas of the project. In accordance with Policy 5-7.4, Fire protection will be provided by the Los Alamitos Fire Department.

Noise Element

Goal: Protect noise sensitive land uses including residences, schools, hospitals, libraries, churches and convalescent homes from high noise levels from both existing and future noise sources.

Policy 6-1.1: Noise mitigation measures for future development should comply with the standards included in the City of Los Alamitos Noise Element.

Policy 6-2.1: Potential noise impacts due to stationary noises should be mitigated in the planning stage.

Analysis

The Los Alamitos Medical Center Specific Plan will directly implement the Noise Element Goal and Policies listed above. Any noise generated by the expansion and construction of hospital and medical office facilities is expected to be temporary and short term as part of project construction. A noise study will be prepared for the project as part of the Environmental Impact Report that addresses acceptable construction hours and mitigation measures to ensure that project construction does not disturb adjacent sensitive uses. The hospital uses are subject to Office of State Health Planning and Development (OSHPD) review and approval as well as City review.

Economic Element

Goal: Enhance the fiscal viability of Los Alamitos by promoting retention and expansion of existing revenue bases, and development of new City revenue sources.

Goal: Promote a healthy economic mix among retail, office, and industrial uses.

Policy 7-1.1: Provide an environment attractive to businesses.

Policy 7-1.2: Actively promote expansion and retention of existing businesses.

Policy 7-1.3: Aggressively seek new businesses.

Analysis

The Los Alamitos Medical Center Specific Plan will implement the Economic Element Goals and Policies above. By expanding medical facilities and office buildings, the medical center will be able to provide more employment opportunities to residents within Los Alamitos and surrounding areas. In addition, the medical center will be able to provide more services to residents within Los Alamitos and surrounding areas. This will result in new business opportunities, as well as expansion and retention of existing business, rather than leaking business services to other areas. It is anticipated that the medical center expansion will promote economic growth throughout and beyond the implementation of the Specific Plan.

Legal Description

PARCEL 1:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 4 SOUTH, RANGE 11 WEST, IN THE RANCHO LOS ALAMITOS, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP NO. 2 TO THE FINAL DECREE OF PARTITION OF SAID RANCHO, A CERTIFIED COPY OF WHICH WAS RECORDED FEBRUARY 2, 1891 IN BOOK 14, PAGE 31 OF DEEDS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 19 WITH THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 1 OF TRACT NO. 1107, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 35, PAGE 35 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY; THENCE SOUTH $89^{\circ} 47' 30''$ EAST, ALONG SAID SOUTH LINE 86.00 FEET TO THE TRUE POINT OF BEGINNING OF THE BOUNDARY OF THE LAND HEREIN DESCRIBED; THENCE CONTINUING ALONG SAID SOUTH LINE, SOUTH $89^{\circ} 47' 30''$ EAST 360.00 FEET; THENCE NORTH $0^{\circ} 12' 30''$ EAST, AT RIGHT ANGLES TO SAID SOUTH LINE, 277.00 FEET, TO THE SOUTH LINE OF TRACT NO. 6428, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 240, PAGES 34 AND 35 OF MISCELLANEOUS MAPS; THENCE ALONG SAID LAST MENTIONED SOUTH LINE NORTH $89^{\circ} 47' 30''$ WEST 350.00 FEET TO A POINT IN A LINE AT RIGHT ANGLES TO SAID SOUTH LINE WHICH PASSES THROUGH THE POINT OF BEGINNING; THENCE SOUTH $0^{\circ} 12' 30''$ WEST, ALONG SAID LAST MENTIONED LINE, 277.00 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT ALL OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS LOCATED ON SAID LAND.

PARCEL 2:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 4 SOUTH, RANGE 11 WEST, IN THE RANCHO LOS ALAMITOS, CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP NO. 2 TO THE FINAL DECREE OF PARTITION OF SAID RANCHO, A CERTIFIED COPY OF WHICH WAS RECORDED FEBRUARY 2, 1891 IN BOOK 14, PAGE 31 OF DEEDS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 19, WITH THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 1 OF TRACT NO. 1107, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 35, PAGE 35 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY; THENCE SOUTH $89^{\circ} 47' 30''$ EAST, ALONG SAID SOUTH LINE 436.00 FEET TO THE TRUE POINT OF BEGINNING OF THE BOUNDARY OF THE LAND HERE DESCRIBED; THENCE CONTINUING SOUTH $89^{\circ} 47' 30''$ EAST, ALONG SAID SOUTH LINE 180.75 FEET, MORE OR LESS, TO THE SOUTHEAST CORNER OF SAID SECTION 19; THENCE NORTH $0^{\circ} 12' 00''$ EAST, ALONG THE EAST LINE OF

SAID SECTION 19, 277.00 FEET TO THE SOUTHEAST CORNER OF TRACT NO. 6428, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 240, PAGES 34 AND 35 OF SAID MISCELLANEOUS MAPS, SAID EAST LINE BEING ALSO THE CENTERLINE OF BLOOMFIELD STREET AS SHOWN ON SAID MAP OF TRACT NO. 6428; THENCE NORTH 89° 47' 30" WEST, ALONG THE SOUTH LINE OF SAID TRACT NO. 6428, 189.80 FEET, MORE OR LESS, TO A POINT IN A LINE AT RIGHT ANGLES TO THE SOUTH LINE OF SAID SECTION 19 WHICH PASSES THROUGH THE POINT OF BEGINNING; THENCE SOUTH 0° 12' 30" WEST, ALONG SAID LAST MENTIONED LINE, 277.00 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO THE CITY OF LOS ALAMITOS, A BODY CORPORATE AND POLITIC OF THE STATE OF CALIFORNIA, IN A GRANT DEED RECORDED JANUARY 23, 2001 AS INSTRUMENT NO. 20010037536, OFFICIAL RECORDS.

PARCEL 3:

LOTS 13 TO 17 INCLUSIVE OF TRACT NO. 6428, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 240 PAGES 34 AND 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 4:

LOTS 14 TO 17 INCLUSIVE OF TRACT NO. 5354, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 206 PAGES 48, 49 AND 50 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 5:

LOTS 5, 6, 7 AND 8 OF TRACT NO. 6428, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 240 PAGES 34 AND 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 6:

LOTS 18, 19, 20, 21 AND 22 OF TRACT NO. 5354, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 206, PAGES 48 TO 50 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT ALL OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS LOCATED ON SAID LAND.

PARCEL 7:

LOT 22 OF TRACT NO. 6428, IN THE CITY OF ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 240, PAGES 34 AND 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT ALL OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS LOCATED ON SAID LAND.

PARCEL 8:

THAT PORTION OF LOT 1 OF TRACT NO. 1107, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 35, PAGE 35 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, AND THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 4 SOUTH, RANGE 11 WEST, IN THE RANCHO LOS ALAMITOS, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP NO. 2 OF THE FINAL DECREE OF PARTITION OF SAID RANCHO, A CERTIFIED COPY OF WHICH WAS RECORDED FEBRUARY 2, 1891 IN BOOK 14, PAGE 31 OF DEEDS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 22 OF TRACT NO. 6428, AS SHOWN ON A MAP RECORDED IN BOOK 240, PAGES 34 AND 35 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, SAID POINT BEING IN THE BOUNDARY OF TRACT NO. 5354, AS SHOWN ON A MAP RECORDED IN BOOK 206, PAGES 48, 49 AND 50 OF SAID MISCELLANEOUS MAPS; THENCE SOUTH 0 13' 05" WEST, ALONG SAID BOUNDARY BEING ALSO THE EASTERLY LINE OF KAYLOR STREET AS SHOWN ON SAID MAP OF TRACT NO. 5354, 197.00 FEET; THENCE CONTINUING ALONG SAID BOUNDARY SOUTH 44 47' 12" EAST 28.28 FEET AND SOUTH 00 13' 05" WEST 20.00 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE SOUTH 89 47' 30" EAST, ALONG SAID SOUTH LINE, 274.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 00 13' 05" WEST, ALONG THE SOUTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 1, 40.00 FEET TO THE SOUTHERLY LINE OF SAID SECTION 19; THENCE SOUTH 89 47' 30" EAST ALONG SAID SOUTHERLY LINE, 86.00 FEET; THENCE NORTH 0 12' 30" EAST, AT RIGHT ANGLES TO SAID SOUTHERLY LINE, 277.00 FEET TO THE SOUTH LINE OF SAID TRACT NO. 6428; THENCE NORTH 89 47' 30" WEST ALONG THE SOUTH LINE OF SAID TRACT NO. 6428, TO THE POINT OF BEGINNING.

EXCEPT ALL OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS LOCATED ON SAID LAND.

PARCEL 9:

THE WESTERLY 436.00 FEET OF THE SOUTHERLY 590.00 FEET OF LOT 1 OF TRACT NO. 1107, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 35, PAGE 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF SAID LOT 1, LYING 436 FEET EASTERLY ON THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTHERLY 40.00 FEET ALONG A LINE PARALLEL WITH AND DISTANT 436 FEET EASTERLY OF THE WEST LINE OF SAID LOT 1; THENCE SOUTHWESTERLY TO A POINT IN A LINE PARALLEL WITH AND DISTANT 416 FEET EASTERLY OF SAID WEST LINE; SAID POINT LYING 20.00 FEET NORTHERLY OF THE SOUTH LINE OF SAID LOT 1; THENCE SOUTHERLY 20.00 FEET ALONG THE LAST MENTIONED PARALLEL LINE TO SAID SOUTH LINE; THENCE EASTERLY 20.00 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING.

ALSO EXCEPTING THAT PORTION OF SAID LAND CONVEYED TO THE CITY OF LOS ALAMITOS, A BODY CORPORATE AND POLITIC OF THE STATE OF CALIFORNIA, IN A DEED RECORDED JANUARY 23, 2001 AS INSTRUMENT NO. 20010037535, OFFICIAL RECORDS.

PARCEL 10:

LOTS 5 AND 6 OF TRACT NO. 3896, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 145, PAGES 3 AND 4 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING FROM SAID LOT 5 THAT PORTION CONVEYED TO THE CITY OF LOS ALAMITOS PER DEED RECORDED OCTOBER 23, 1964 IN BOOK 7273, PAGE 295 OF OFFICIAL RECORDS OF SAID COUNTY, BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 5; THENCE NORTH 89° 47' 30" WEST 25.00 FEET ALONG THE NORTH LINE OF SAID LOT 5 TO A POINT ON A CURVE, BEING TANGENT, CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 25.00 FEET. THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90° 00' 35" TO A POINT ON A TANGENT LINE, SAID TANGENT LINE ALSO BEING THE EAST LINE OF SAID LOT 5. THENCE NORTH 0° 13' 05" EAST 25.00 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING.

PARCEL 11:

KAYLOR STREET, AS SHOWN AND DEDICATED ON THE MAP OF TRACT NO. 5354, IN THE CITY OF LOS ALAMITOS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 206, PAGES 48 THROUGH 50, INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING ANY PORTION THEREOF LYING WITHIN KATELLA AVENUE AND CATALINA STREET AS SHOWN ON SAID TRACT MAP.

Approval Documents

RESOLUTION 2011-02

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS CERTIFYING THE ENVIRONMENTAL IMPACT REPORT FOR THE LOS ALAMITOS MEDICAL CENTER SPECIFIC PLAN (SCH# 2010041095) IN CONNECTION WITH ITS APPLICATION FOR SPECIFIC PLAN NO. 09-01, GENERAL PLAN AMENDMENT GPA 09-01, ZONE ORDINANCE AMENDMENT ZOA 10-03 AND STREET VACATION LOCATED AT AND AROUND 3751 KATELLA AVENUE (ORANGE COUNTY ASSESSOR PARCEL NO 242-151-20, 242-152-20, 242-152-21, 242-162-13, 242-162-14, 242-163-11, 242-163-12, 242-163-13, 242-163-14) INCLUDING RELATED FINDINGS, ADOPTION OF ENVIRONMENTAL FINDINGS, A STATEMENT OF OVERRIDING CONSIDERATIONS AND A MITIGATION MONITORING AND REPORTING PLAN PURSUANT TO CALIFORNIA ENVIRONMENTAL QUALITY ACT.

WHEREAS, the Los Alamitos Medical Center (hereafter "Applicant" and/or "LAMC") has filed an application for a Specific Plan adoption (SP09-01), General Plan Amendment (GPA 09-01) to change the Land Use Designation from Community and Institutional, Planned Industrial and Professional office to Specific Plan Land Use Designation, Zoning Ordinance Amendment to change Zoning Designations from Community Facilities (C-F), Commercial Office (C-O) and Planned Light Industrial (P-M), and Street Vacation No. 10-01 to vacate Kaylor Street for the construction of a proposed three-phase master planned expansion, including the provision of an additional 164 hospital beds, two new hospital buildings, one new medical office building (75,100 gross square feet) to be used for additional outpatient and associated medical uses, and an additional 849 parking spaces (hereafter "Project"), for a project generally located at and around 3751 Katella Avenue (hereafter "Subject Property"); and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA) (Public Res. Code 21000 et seq.) the CEQA Guidelines and the City of Los Alamitos Local CEQA Guidelines, the City of Los Alamitos is the lead agency for the Project, as the public agency with general governmental powers; and

WHEREAS, as lead agency, the City of Los Alamitos caused an Initial Study of the Los Alamitos Medical Center Specific Plan Project to be prepared to evaluate the potential for adverse environmental impacts and based on the Initial Study concluded that a Program Environmental Impact Report (EIR) would be prepared for the Project; the Initial Study with a Notice of Preparation was mailed to the State Clearinghouse, responsible and trustee agencies and other interested parties; and

WHEREAS, the Initial Study concluded that implementation of the Los Alamitos Medical Center Specific Plan would have less than significant or no impacts in the following categories: Agricultural and Forestry Resources, Biological Resources, Cultural Resources, Mineral Resources, Population and Housing, and

WHEREAS, pursuant to Los Alamitos Local CEQA Guidelines, the City Council shall consider certification of the Final EIR and the Planning Commission shall make a recommendation regarding the Draft EIR to the City Council as an advisory board; and

WHEREAS, the purpose of a Draft EIR was to identify the significant effects on the environment of the project, to identify alternatives to the project, and to indicate the manner in which those significant effects can be mitigated or avoided; and

WHEREAS pursuant to CEQA Guidelines section 15082, the City solicited comments from potential responsible agencies, including details about the scope and content of the environmental information related to the responsible agency's area of statutory responsibility, as well as the significant environmental issues, reasonable alternatives, and mitigation measures that the responsible agency would have analyzed in the Draft EIR; and

WHEREAS, the City provided a Notice of Preparation (NOP) on April 28, 2010 and a 30-day public comment period. The City received nine (9) written comments during the NOP review period. These comments were provided to the City's environmental consultant, who assisted with issues to be evaluated and alternatives for the EIR analysis; and

WHEREAS, on April 28, 2010, the NOP and Initial Study were filed with the State Clearinghouse pursuant to State Public Resources Code (PRC) section 21092.3; and

WHEREAS, the Los Alamitos Planning Commission conducted a Public Scoping meeting on May 10, 2010 to solicit comments from the public and any potentially affected property owners. A notice of the meeting was sent to property owners and commercial tenants within a 500 foot radius from the subject site. Approximately fifteen (15) persons attended the meeting. The oral testimony that was received during the meeting, was further provided to the City's environmental consultant; and

WHEREAS, pursuant to Section 21092 of the California Public Resources Code, the City provided the required public notification that the Draft EIR was available during the required forty-five (45) day review period which began on Thursday September 30, 2010 and concluded on November 15, 2010 by publishing a public notice in a newspaper of general circulation in the area affected by the project and sending a public notice to all organizations and individuals who had previously requested such notice. In addition, the City placed copies of the Draft EIR at the City of Los Alamitos Community Development counter and the Los Alamitos/Rossmoor public library; and

WHEREAS, during the forty-five (45) day Notice of Availability (NOA) review period, the City consulted with and requested comments from all responsible and trustee agencies, other regulatory agencies and others pursuant to State CEQA Guidelines section 15086; and

WHEREAS, in response to the City's NOA, the City received four (4) written comments from residents and ten (10) comments from other responsible agencies.

These comments were provided to the City's environmental consultant, who prepared responses to the comments. Those comments and responses were included in the Final EIR for the City Council's consideration; and

WHEREAS, The Planning Commission, on September 13, 2010 took action to set the future public hearing for the date of October 11, 2010; and

WHEREAS, The Planning Commission held their first public hearing on October 11, 2010 which was continued to the November 8, 2010; and

WHEREAS, The Planning Commission completed the public hearing and adopted Resolution No. PC 10-21 recommending to the City Council certification of the Draft Environmental Impact Report (No. 2010041095); and

WHEREAS, The Planning Commission adopted Resolution No. PC 10-22 recommending to the City Council adoption of General Plan Amendment (GPA 09-01) to change the Land Use Designation; and

WHEREAS, The Planning Commission adopted Resolution No. PC 10-23 recommending to the City Council adoption of Zoning Ordinance Amendment 09-01 to change zoning designations; and

WHEREAS, the Traffic Commission received and filed a staff report of the Traffic Impacts of the Medical Center Specific Plan including Mitigation during their December 8, 2010 meeting; and

WHEREAS, a Final EIR, including Response to Comments, errata, and Mitigation Monitoring and Reporting Program was prepared and released on January 8, 2011, ten (10) days prior to the hearing at which the City Council adopted this Resolution 2011-02; and

WHEREAS, a Final EIR has been distributed to the City Council; and

WHEREAS, the City Council has considered information presented by the applicant, the Community Development Department, and other interested parties at public meetings and hearings held by the Planning Commission, Traffic Commission and City Council on May 10, 2010, September 13, 2010, October 11, 2010 November 8, 2010, December 8, 2010, January 18, 2011 and February 7, 2011; and

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Los Alamitos as follows:

SECTION 1. The recitals are true and correct and are incorporated by reference herein.

SECTION 2. The Draft EIR complies with all the requirements of CEQA, the CEQA Guidelines, and Los Alamitos Local CEQA Guidelines and is sufficiently detailed

to adequately evaluate all of the potentially significant environmental effects of the Project.

SECTION 3. The City Council has independently reviewed and considered the contents of the Final EIR and it reflects the City's independent judgment and analysis.

SECTION 4. The Planning Commission and the City Council have reviewed and considered the Project and the Draft EIR, the written comments thereon with responses, the errata, and the Mitigation Monitoring and Reporting Program prepared for the Los Alamitos Medical Center Specific Plan, and have considered the significant and unavoidable environmental impacts of the Project. Based on the Final EIR, public comments and the entire record before the Planning Commission and the City Council, the City Council finds that;

1. The Project will cause no significant environmental impacts with respect to Land Use and Electricity and Natural Gas.
2. The Project will cause environmental impacts that are potentially significant, but which can be mitigated to a level of less than significant through the imposition of the Mitigation Monitoring and Reporting Plan in the areas of Aesthetics, Traffic, Air Quality/Greenhouse Gas Emissions, Noise, Geology and Seismic Hazards, Hazards and Hazardous Materials, Hydrology and Water Quality, Fire Protection, Police Protection, Water, Wastewater, and Solid Waste.
3. Specific impacts of the Los Alamitos Medical Center Specific Plan from Greenhouse Gas (GHG) emission have been identified in the Draft EIR as significant and unavoidable. Based upon significant economic, social and employment benefits from the Project, the City Council finds these effects acceptable and adopts the required facts and findings and Statement of Overriding Consideration, attached as Exhibit B to this Resolution.

SECTION 5. The City of Los Alamitos reviewed, considered, and rejected the following proposed alternatives to the Project: (1) relocation of the existing hospital campus to a new location elsewhere in Orange County and construction of the proposed Specific Plan; and (2) constructing a second hospital campus with medical office buildings at another location within the City of Los Alamitos or in Orange County. Relocation of the existing hospital facility and development of the proposed Specific Plan and construction of a new hospital and medical office buildings elsewhere in Orange County were determined not to be feasible because the Los Alamitos Medical Center's fundamental purpose is to expand its existing hospital campus to provide expanded services to the growing population of the region. Although it is recognized that healthcare service needs exist elsewhere in the County, the Los Alamitos Medical Center has significant investment in its current location and therefore seeks to fully utilize the capacity of its existing site and infrastructure systems. The site is well suited to serve area residents within the hospital's service area and is accessible from a major freeway and arterial streets that access various points throughout the community.

SECTION 6. The Final EIR, which is attached as Exhibit A, consist of the following:

- Los Alamitos Medical Center Specific Plan Draft Program Environmental Impact Report (September 2010);
- Comments to the Draft EIR;
- Responses to Comments;
- Errata for the Final EIR; and
- Mitigation Monitoring and Reporting Program.

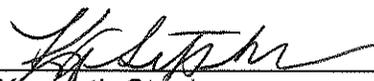
SECTION 7. The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6. The City Clerk shall certify to the adoption of this resolution, transmit copies of the same to the applicant and its counsel, if any, together with a proof of mailing in the form required by law and shall enter a certified copy of this resolution in the book of resolution of the City.

SECTION 8. The City Council finds that all available documentation is available within the Community Development Department at the City of Los Alamitos 3191 Katella Avenue, Los Alamitos, CA 90720.

SECTION 9. Based on the above findings, the City Council certifies the Final EIR.

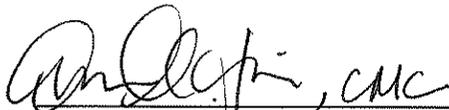
SECTION 10. The City Clerk shall certify as to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED this 7th day of February, 2011.



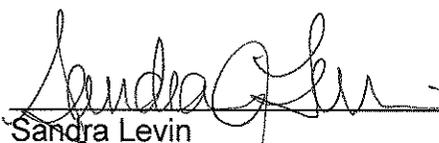
Kenneth Stephens
Mayor

ATTEST:



Adria M. Jimenez, CMC
City Clerk

APPROVED AS TO FORM:



Sandra Levin
City Attorney

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EXHIBIT B

**STATEMENT OF FACTS AND FINDINGS
AND
STATEMENT OF OVERRIDING CONSIDERATIONS
REGARDING THE ENVIRONMENTAL EFFECTS
FOR THE
FINAL ENVIRONMENTAL IMPACT REPORT
FOR THE
LOS ALAMITOS MEDICAL CENTER SPECIFIC PLAN**

SCH No. 2010041095



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1.0 INTRODUCTION

The *California Environmental Quality Act (CEQA)*, *Public Resources Code Section 21000 et seq.*, and the implementing regulations set forth that *Title 14 California Code of Regulations Section 15000 et seq. (CEQA Guidelines)* require that a Lead Agency issue two sets of findings prior to approving a project that will generate a significant and unavoidable impact on the environment. The Statement of Facts and Findings is the first set of findings, in which the Lead Agency identifies the significant impacts, presents facts supporting the conclusions reached in the analysis, makes one or more of three findings for each impact, and explains the reasoning behind the agency's findings.

The following Statement of Facts and Findings has been prepared in accordance with *CEQA Section 21081. CEQA Guidelines Section 15091 (a)* provides that:

No public agency shall approve or carry out a project for which an EIR has been certified which identifies one or more significant environmental effects of the project unless the public agency makes one or more written findings for each of those significant effects, accompanied by a brief explanation of the rationale for each finding.

There are three possible finding categories available for the Statement of Facts and Findings pursuant to *CEQA Guidelines Section 15091 (a)*:

- (1) *Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effect as identified in the final EIR.*
- (2) *Such changes or alterations are within the responsibility and jurisdiction of another public agency and not the agency making the finding. Such changes have been adopted by such other agency or can and should be adopted by such other agency.*
- (3) *Specific economic, legal, social, technological, or other considerations, including provision of employment opportunities for highly trained workers, make infeasible the mitigation measures or project alternatives identified in the final EIR.*

The Statement of Overriding Considerations is the second set of findings. Where a project will cause unavoidable significant impacts, the Lead Agency may still approve a project where its benefits outweigh the adverse impacts. Further, as provided in the Statement of Overriding Considerations, the Lead Agency sets forth specific reasoning by which benefits are balanced against effects, and approves the project.

The City Council and the Community Development Department of the City of Los Alamitos, the CEQA Lead Agency, finds and declares that the Los Alamitos Medical Center Specific Plan Program Environmental Impact Report (EIR) has been completed in compliance with *CEQA* and the *CEQA Guidelines*. The City Council and the Community Development Department of the City of Los Alamitos find and certify that the EIR was reviewed and information contained in the EIR was considered prior to approving the Los Alamitos Medical Center Specific Plan herein referred to as the "project."



Based upon its review of the EIR, the Lead Agency finds that the EIR is an adequate assessment of the potentially significant environmental impacts of the proposed project, represents the independent judgment of the Agency, and sets forth an adequate range of alternatives to this project.

The Final EIR is composed of the following elements:

- Los Alamitos Medical Center Specific Plan Draft Program Environmental Impact Report (September 2010);
- Responses to Comments;
- Errata for the Final EIR; and
- Mitigation Monitoring and Reporting Program.

Terms used in the Statement of Facts and Findings and the Statement of Overriding Considerations have the meanings set forth in the EIR unless otherwise expressly provided therein.



2.0 PROJECT SUMMARY

2.1 PROJECT DESCRIPTION

ENVIRONMENTAL LOCATION AND SETTING

Regionally, the project site is located in the northwestern portion of the City of Los Alamitos in northwest Orange County. Primary access to the project site is provided by the San Diego Freeway (I-405) and San Gabriel River Freeway (I-605), which are located approximately 4.5 miles south and 1.5 miles west, respectively. Locally, the 18.3 gross-acre project site is on Katella Avenue. The project site is bordered by Katella Avenue on the south, Cherry Street on the west, Catalina and Florista Streets on the north, and Bloomfield Street on the east. Kaylor Street traverses the western portion of the Los Alamitos Medical Center campus, connecting with Catalina Street on the north and Katella Avenue on the south.

PROJECT OVERVIEW

The project applicant is proposing a Specific Plan for the Los Alamitos Medical Center campus. The Los Alamitos Medical Center is envisioned to be a safe, attractive, well-designed medical center where surrounding residents of all ages can obtain valuable medical treatment and care. The proposed Specific Plan for the Medical Center campus includes a three-phase master planned expansion estimated to be constructed over a period of approximately 25 years.

The Specific Plan will include the provision of an additional 164 hospital beds, two new hospital buildings, one new medical office building (75,100 gross square feet) to be used for additional outpatient and associated medical uses, and an additional 849 parking spaces than what currently exists on the Medical Center campus. It is anticipated that four new structures will be constructed on the existing 18.3 gross-acre Medical Center campus built over a 25-year period, as outlined below in the Development Program.

DEVELOPMENT PROGRAM

Table 1, Proposed Medical Center Campus Facilities (New Buildings), summarizes the new facilities proposed under the Specific Plan.



Table 1
Proposed Medical Center Campus Facilities (New Buildings)

New Buildings	Square Feet	Building Height ¹ (Feet) / Story
New Medical Office Building A	75,100	50' 6" / 3
New Hospital Building 1	88,100	68' / 4
New Hospital Building 2	88,100	68' / 4
New Central Plant	14,100	43' 6" / 1 to 2
	265,400	
1. Building heights are to top of parapet. Height of elevator shaft not included.		
' = Feet " = Inches		

Table 2, *Specific Plan Development Program By Phase*, and Table 3, *Specific Plan Development Program By Use Type*, illustrate the ultimate building square footage of the Los Alamitos Medical Center campus as it relates to the existing campus. Once complete, the Medical Center campus will include 582,824 square feet of hospital and hospital-related uses, medical office space, support facilities, and parking. The floor area ratio (FAR) will increase from an existing 0.45 FAR to 0.73 FAR once the Medical Center campus is built out.

Table 2
Specific Plan Development Program By Phase

Use	Square Feet	Beds
Phase 1		
Existing Main Hospital	121,748	167
Existing MOB 1 (interim pending demolition in Phase 2)	24,000	--
Existing MOB 2	64,000	--
Existing MOB 3	60,000	--
Existing TotalCare Pavilion	71,676	--
Existing Administration/Warehouse Building (3776 & 3797 Catalina) (interim pending demolition in Phase 2)	15,099	
New Medical Office Building A	75,100	--
Subtotal Phase 1	431,623	167
Phase 2		
Hospital Building 1	88,100	92
Existing Main Hospital (internal reconfiguration only)	No change	113 ¹
Subtotal Phase 2	88,100	205
Cumulative Total, Phase 2	480,624¹	205
Phase 3		
Hospital Building 2	88,100	126
New Central Plant	14,100	--
Subtotal Phase 3	102,200	--
BUILDOUT TOTAL	582,824	331
Net Increase Over Existing	226,301	164
1. In Phase 2 the bed count in the existing hospital is reduced from 167 beds to 113 beds due to consolidation of rooms and interior renovation. No change in square footage is proposed. Existing MOB 1 will be demolished as part of phase 2 as will the existing Administration/Warehouse building.		
Notes:		
1. Net increase is in comparison to the 356,523 sq ft of existing uses shown on Table 3-1, of the Draft EIR, and accounts for demolition.		
2. MOB = Medical Office Building		



Table 3
Specific Plan Development Program By Use Type

Use	Existing Facilities	Phase	New Construction	Demolition	Net Change	Buildout Square Feet	Beds
Hospital & Related Uses							
Existing Main Hospital	121,748				0	121,748	167 Existing
Internal Reconfiguration		2					-54 Existing ¹
Hospital Building 2		2	88,100		+88,100	88,100	92 New
Hospital Building 3		3	88,100		+88,100	88,100	126 New
Subtotal Hospital & Related Uses	121,748		176,200	0	+176,200	297,948	331
Support Facilities							
Existing Administration/Warehouse Building (3776 & 3797 Catalina)	15,099	2		-15,099	-15,099	0	
New Central Plant		3	14,100		+14,100	14,100	--
Subtotal Support Facilities	15,099		14,100	-15,099	-999	14,100	
Medical Office Buildings							
Existing MOB 1	24,000	2		-24,000	-24,000	0	--
Existing MOB 2	64,000				0	64,000	--
Existing MOB 3	60,000				0	60,000	--
Existing TotalCare Pavilion	71,676				0	71,676	--
Medical Office Building A		1	75,100		+75,100	75,100	--
Subtotal Medical Office Buildings	219,676		75,100	-24,000	+51,100	270,776	
TOTAL	356,523		265,400	-39,099	+226,301	582,824	331
Net Increase Over Existing						226,301	164
<p>1. In Phase 2 the bed count in the existing hospital is reduced from 167 beds to 113 beds due to consolidation of rooms and interior renovation. No change in square footage is proposed. Existing MOB 1 will be demolished as part of phase 2 as will the existing Administration/Warehouse building.</p> <p>Notes: 1. Net increase is in comparison to the 356,523 sq ft of existing uses shown on Table 3-1, of the Draft EIR, and accounts for demolition. 2. MOB = Medical Office Building</p>							

LAND USE SUMMARY BY PHASE

The development activity anticipated for the three phases are discussed below. At buildout, the Los Alamitos Medical Center campus will include 297,948 square feet of hospital and hospital-related uses; 260,776 square feet of medical office space; and 14,100 square feet of vital support facilities.



PHASE 1

Three medical office buildings, the TotalCare Pavilion, and the main hospital will remain unaltered during Phase 1. Phase 1 consists of the following elements:

- § Vacation of the entire right-of-way for Kaylor Street. Parking will be provided in a district setting, with parking spaces provided throughout the site and not specifically allocated by building. Kaylor Street will function as a private street during Phase 1, but will not be reconfigured once it has been vacated.
- § Construction of a new 3-story medical office building (MOB A) on the Katella Avenue project frontage, totaling 75,100 gross square feet.
- § Construction of a new parking structure north of the new Medical Office Building (MOB A).

PHASE 2

Phase 2 consists of the following elements:

- § Demolition of an existing 24,000-square-foot medical office building (MOB 1) located at the northwest corner of Kaylor Street and Katella Avenue to allow for reconfiguration of surface parking areas; as part of Phase 2, Kaylor Street south of the existing hospital will be reconfigured as a driveway and parking area.
- § Demolition of an existing 15,099-square-foot administration/warehouse building along Catalina/Kaylor Street and construction of surface parking.
- § Construction of a new four-story Hospital Building (Hospital Building 1) totaling 92 beds, resulting in a 38-bed net increase as a portion of the existing hospital will be renovated resulting in a reduced bed count. The existing hospital bed count will be reduced to 113 beds from the present total of 167 to allow for modernization of hospital room configurations. The emergency room will be relocated to the ground floor of the new Hospital Building 1 and the vacated emergency room space will be reconfigured for outpatient services for special procedures. A ground level, enclosed corridor will be constructed to link the existing hospital with the new Hospital Building 1.

PHASE 3

Phase 3 consists of the following elements:

- § Construction of a second four-story bed Hospital Building (Hospital Building 2) totaling 126 beds to the north of the Hospital Building 1. An elevated corridor will connect the two Hospital Buildings.
- § Construction of a Central Plant to service the new and existing hospital buildings.
- § Construction of a second parking structure to meet parking standards.



HOSPITAL BUILDINGS AND EMERGENCY ROOM RE-LOCATION

Hospital Building 1 is anticipated to be four stories (approximately 68 feet to top of parapet) in height, total approximately 88,100 square feet, and will be located on the east side of vacated Kaylor Street. Hospital Building 1 will include 92 beds, and will also include a new emergency room on the ground floor; the existing emergency room presently located in the main hospital will be re-located to the ground floor of Hospital Building 1 once it is constructed in Phase 2 of the expansion program. A ground level corridor will be constructed to link Hospital Building 1 with the existing hospital.

The existing emergency room space in the main hospital will be turned into a space for specialized medical procedures and laboratory uses. In addition, patient rooms in the existing hospital will be re-configured to reduce room occupancy in accordance with modern standards. Rooms that presently have three or four beds will be reduced to two beds and rooms that presently have two beds will be reduced to one bed.

As shown in *Table 3*, a total net gain of 38 beds is proposed for the Medical Center campus in Phase 2, with a total of 205 beds in the reconfigured main hospital and new Hospital Building 1. Hospital Building 2 is to be constructed in Phase 3 and will include 126 new beds, and will also be located along Kaylor Street. Hospital Building 2 is anticipated to be 88,100 square feet and will be 4 stories in height. An elevated corridor will connect Hospital Buildings 1 and 2.

CENTRAL PLANT

The purpose of the Central Plant is to provide power, hot water, and heating/air conditioning to the existing hospital and new Hospital Buildings 1 and 2. During Phase 2, the Central Plant facilities will be located on top of Hospital Building 1 in a mechanical penthouse. With the buildout of Phase 3, the Central Plant will be re-located to the corner of Kaylor Street and Catalina Street, where it will remain permanently. The proposed structure will consist of a one- and two-story structure and associated cooling tower.

SITE DEVELOPMENT STANDARDS

INTENSITY

The floor area ratio within the Specific Plan Area, including the medical center, existing and new medical office uses, and the central plant, based on gross acreage, shall not exceed 0.75.

BUILDING HEIGHTS

The Specific Plan proposes the following for new buildings:

- § Maximum of four stories or 70 feet, whichever is greater, measured to the top of parapet.



The following structures may exceed the allowed height:

- a. Plumbing vents, chimneys, etc.
- b. Fire walls.
- c. Mechanical features such as air conditioners, tanks, fans and similar equipment located on rooftops must be screened, but the architectural features used to provide that screening are not considered as part of the building for purposes of determining building height, so long as features do not exceed the minimum amount required to achieve screening.
- d. Skylights.
- e. Stair/Elevator structures.
- f. Solar panels.
- g. Architectural theme elements.

CIRCULATION AND ACCESS

Presently, there are four points of access into the site from Katella Avenue, including Kaylor Street and three driveways.

Access into the site will vary by phase. During Phase 1, primary access will continue to be via Kaylor Street, with a second driveway located between the TotalCare Pavilion and the new medical office building (MOB A). This driveway will provide direct access to the parking structure. One driveway will be eliminated as part of Phase 1. Access into the site from Katella for Phases 2 and 3 will be via two driveways, as Kaylor Street will be reconfigured as a driveway access into the site. In addition, one entrance along Cherry Street is anticipated to allow access to the Specific Plan area.

INTERNAL CIRCULATION

As part of the proposed Specific Plan, Kaylor Street will be modified as described below.

PHASE 1

Kaylor Street will be vacated during Phase 1 of Specific Plan implementation but will remain unaltered in configuration, providing full access into the site as a private street. A public access easement will be placed on the private driveway.

PHASES 2 AND 3

As part of Phase 2, Kaylor Street will be reconfigured from Katella Avenue north to function solely as a private driveway, providing access into the site from Katella Avenue and to the new parking structure and surface parking lots. On the north, Kaylor Street will continue as a private street that extends south from Catalina Street and terminates in a cul-de-sac constructed to



City standards. Kaylor Street will serve as an access point for ambulances to the new emergency room and access for employees and visitors.

EMERGENCY ROOM ACCESS

The ambulance route for the medical center will vary by phase. In Phase 1, there will be no change to the existing ambulance route to the emergency room in the existing hospital, which is via Kaylor Street. Upon construction of Hospital Building 1 in Phase 2, the emergency room will be relocated to the ground floor of that building. Ambulance access to the emergency room will be via Kaylor Street from the north and a driveway off of Florista Street. Office of State Health Planning and Development (OSHPD) and design practice dictate that walk-in patient access would be via a separate entrance with access provided from Katella Avenue.

PARKING

A total of 1,943 on-site parking spaces will be provided within the Specific Plan area at buildout, configured in surface and structured parking areas. Parking will be on a paid basis, with employee parking provided at no charge. Employees will take access to the parking areas and/or structure(s) via separate controlled entry points.

During Phase 1, parking will be re-configured. A portion of the surface parking will be demolished, and concurrent with re-configuration of the surface parking spaces, a parking structure will be constructed. Parking in the two existing lots in the northern portion of the site will be employee/staff parking. *Table 4, On-Site Parking*, outlines the provided on-site parking by type. A second parking structure is proposed for construction in Phase 3, as Specific Plan buildout nears completion.

On-street parking is also present on the adjacent public streets. This on-street parking does not count towards meeting the parking needs for the site. As shown in *Table 4*, the proposed parking exceeds requirements.

Table 4
On-Site Parking

Phase	Parking Spaces Provided	Parking Required	Levels
Phase 1			
Surface Parking	751		Surface
Parking Structure 1	1,050		6 levels, above ground
Subtotal Phase 1	1,801	1,792	
Phase 2			
Surface Parking	680		Surface
Parking Structure 1	1,050		6 levels, above ground
Subtotal Phase 2	1,730	1,713	
Phase 3/Buildout			
Surface Parking	362		Surface
Parking Structure 1	1,050		6 levels, above ground
Parking Structure 2	531		4 levels, above ground
Total at Buildout	1,943	1,934	



2.2 PROJECT PHASING

Development within the Los Alamitos Medical Center Specific Plan area is expected to occur in three general phases over a 25-year period, as outlined below. Within each phase there may be sub-phases related to construction sequencing.

Three existing medical office buildings and the existing hospital will remain. Phasing for the Los Alamitos Medical Center expansion consists of the following elements, broken down by subphase/construction sequence.

A construction management plan will be prepared as part of the site plan submittal to outline construction staging as well as provisions for employee parking and parking management during construction.

PHASE 1

- § Construction of a new medical office building (MOB A) on the Katella Avenue project frontage, totaling 75,100 gross square feet.
- § Extension of infrastructure to serve the new medical office building (MOB A).
- § Construction of a new parking structure on the eastern side of the new Hospital Building 1.
- § Vacation of the existing right-of-way for Kaylor Street (no reconfiguration) to act as a private street.

PHASE 2

- § Demolition of an existing 24,000-square-foot medical office building (MOB 1) located at the northwest corner of Kaylor Street and Katella Avenue to allow for reconfiguration of surface parking areas.
- § Demolition of an existing 15,099-square-foot warehouse building along Catalina/Kaylor Street.
- § Reconfiguration of surface parking and reconfiguration of Kaylor Street north of the hospital building.
- § Construction of a new four-story Hospital Building (Hospital Building 1) totaling 92 beds, resulting in a 38 bed net increase as a portion of the existing hospital will be renovated resulting in a reduced bed count.
- § Reconfiguration of the existing hospital's bed count and relocation of the existing emergency room to the new Hospital Building.
- § The existing hospital bed count will be reduced to 113 beds from the present total of 167.
- § Extension/Construction of infrastructure to serve the new Hospital Building 1.



PHASE 3

- § Construction of a Central Plant to service the new and existing hospital buildings.
- § Construction of a second Hospital Building (Hospital Building 2) totaling 126 beds to the north of the Phase 1 Hospital Building.
- § Construction of an additional parking structure and surface parking to meet Specific Plan parking standards.

2.3 PROJECT GOALS

Implementation of the proposed Los Alamitos Medical Center Specific Plan is intended to achieve the following goals:

- Comply with the City of Los Alamitos General Plan Goals and Policies.
- Design the project with consideration of the site's circulation, environmental, and physical opportunities and constraints.
- Create project identity through thematically coherent and aesthetically pleasing architecture, landscaped areas, colors, signage, and entry statements.
- Size and phase the medical center development plan to satisfy, and be consistent with, current and anticipated future market demand.
- Encourage a streamlined and predictable discretionary review process for subsequent reviews.
- Provide for coordinated land use, urban design, landscape, transportation, and infrastructure planning.
- Create a sustainable development that minimizes short-term and long-term adverse environmental impacts to the fullest extent feasible and adequately addresses consumer needs.
- Improve the local job market by providing a substantial number of permanent new jobs within and available to the local community.



3.0 ENVIRONMENTAL REVIEW AND PUBLIC PARTICIPATION

The City of Los Alamitos (City) conducted an extensive review of the project, which included a Draft EIR and a Final EIR, along with a public review and comment period. The following is a summary of the lead agency's environmental review of the project:

- Pursuant to *CEQA Guidelines* Section 15082, as amended, the City circulated a Notice of Preparation ("NOP") to public agencies, special districts, and members of the public who had requested such notice for a 30-day period. The NOP and Initial Study were submitted to the State Clearinghouse April 28, 2010, with the 30-day review period ending on May 28, 2010.
- The NOP public review period ran for 30 days. The City accepted a number of written comments from various interested parties. The scope of the issues identified in the comments included potential impacts associated with traffic and circulation, parking, land use, air quality, hydrology/water quality, and aesthetics.
- The Draft EIR was distributed for public review and a Notice of Availability ("NOA") and Notice of Completion ("NOC") was filed with the State Clearinghouse on September 30, 2010 to November 15, 2010, for a 45-day review period. A notice of availability was placed in the *News Enterprise*, on September 29, 2010. The Draft EIR was made available at the City of Los Alamitos Community Development counter and the Los Alamitos/Rossmoor public library.
- The City received a total of 13 written comment letters from public agencies. The Agency prepared specific responses to all written comments. The comments and responses are contained in Section 13.0 of the Final EIR. The Final EIR was also available at the City of Los Alamitos Community Development counter.
- On October 11, 2010 and November 8, 2010, the Planning Commission of the City of Los Alamitos held a noticed public hearing on the Final EIR. The Planning Commission staff report was also posted on the City's web page.

In accordance with *Public Resources Code* Section 21092.5, the City provided written responses to public agencies and the general public that commented on the Draft EIR.

3.1 INDEPENDENT JUDGMENT FINDING

The City selected and retained RBF Consulting (RBF) to prepare the Los Alamitos Medical Center Specific Plan Program EIR. RBF prepared the EIR under the supervision and direction of City staff. All findings set forth herein are based on substantial evidence in the record, as indicated, with respect to each specific finding.



Finding: The EIR for the project reflects the City's independent judgment. The City has exercised independent judgment in accordance with *Public Resources Code* Section 21082.1(c)(3) in retaining its own environmental consultant, and directing the consultant in the preparation of the EIR. The City has independently reviewed and analyzed the EIR and finds that the report reflects the independent judgment of the City.

The City has considered all the evidence presented in its consideration of the project and the EIR, including, but not limited to, the Final EIR, written and oral evidence presented at hearings on the project, and written evidence submitted to the City by individuals, organizations, regulatory agencies, and other entities. On the basis of such evidence the City finds that with respect to each environmental impact identified in the review process, the impact (1) is less than significant and would not require mitigation; or (2) is potentially significant but would be avoided or reduced to less than a significant level by implementation of identified mitigation measures; or (3) would be significant and not fully mitigable but would be, to the extent feasible, lessened by implementation of identified mitigation measures.

The EIR also identifies certain significant adverse environmental effects of the proposed project which cannot be avoided or substantially lessened. Prior to approving this project, the City must also adopt a Statement of Overriding Considerations which finds, based on specific reasons and substantial evidence in the record (as specified in Section 5.0), that certain identified economic, social, or other benefits of the proposed project outweigh such unavoidable adverse environmental effects.

3.2 FINDINGS ON THE FINAL PROGRAM EIR

Finding: The City has declared that the Final Program EIR has identified and discussed significant effects which may occur as a result of the Los Alamitos Medical Center Specific Plan. With the implementation of the mitigation measures discussed in the Final Program EIR, these effects can be mitigated to a level of less than significant as set forth in Section 3.7 of these Findings. However, there are certain other significant effects which either cannot be fully mitigated or for which no feasible or practical mitigation currently exist, and these unavoidable significant impacts are discussed in Section 3.8 of these Findings.

3.3 GENERAL FINDING ON THE MITIGATION MEASURES

The City has reviewed the mitigation measures applicable to the Los Alamitos Medical Center Specific Plan through their separate official actions and review processes applicable to it as the Lead Agency.

In the event that the description of the mitigation measures set forth in the Mitigation Monitoring and Reporting Plan do not use the exact wording of the mitigation measures recommended in the Final Program EIR, in each such instance, the mitigation measures in the Mitigation Monitoring and Reporting Plan are intended to be identical or substantially similar to the recommended mitigation measures in the Final Program EIR. Any minor revisions were made for the purpose of improving clarity or to better define the intended purpose.



Finding: The City has adopted Findings to the effect that the mitigation measures summarized in the Mitigation Monitoring and Reporting Plan will reduce all potential significant impacts of the project to a level of less than significant, except as set forth in Section 3.8 of these Findings. The City has duly adopted all mitigation measures recommended in the Final Program EIR. The City has further adopted the Mitigation Monitoring and Reporting Plan for the Los Alamitos Medical Center Specific Plan in the form as submitted to the City and the City of Los Alamitos at the public hearing when the Final Program EIR was considered.

3.4 ENVIRONMENTAL IMPACTS AND FINDINGS

The detailed analysis of potential environmental impacts and proposed mitigation measures for the project, the Responses to Comments, and any revisions or omissions to the Draft Program EIR are presented in the Final Program EIR.

The Final Program EIR evaluated 14 major environmental categories: Land Use; Aesthetics; Traffic; Air Quality/Greenhouse Gas Emissions; Noise; Geology and Seismic Hazards; Hazards and Hazardous Materials; Hydrology, Drainage, and Water Quality; Fire Protection; Police Protection; Water; Wastewater; Solid Waste; and Electricity and Natural Gas for potential significant unavoidable impacts, including cumulative impacts. Both project-specific and cumulative impacts were evaluated. Of these 14 environmental categories, the City has concurred with the conclusions in the Final Program EIR that, with exception to the issues considered in Section 3.8 of these Findings, all of the other issues and sub-issues discussed in these Findings can be mitigated below a significant impact threshold. For those issues which cannot be mitigated below a level of significance (see Section 3.8 of these Findings), overriding considerations exist that make the impacts acceptable. In addition to the 14 major environmental categories addressed in the Final Program EIR, five other major categories (Agricultural and Forest Resources, Biological Resources, Cultural Resources, Mineral Resources, and Recreation) were found to be non-significant in the Initial Study prepared for the project. The City has concurred through its respective official actions with the conclusions on these categories as outlined in the Initial Study (Appendix A of the Final EIR) and have found that no significant impacts have been identified as to those categories identified in the Initial Study and no further analysis is required.



3.5 EFFECTS DETERMINED TO BE LESS THAN SIGNIFICANT IN THE INITIAL STUDY/NOTICE OF PREPARATION

The City conducted an Initial Study in April 2010 to determine significant effects of the proposed project. In the course of this evaluation, certain impacts of the project were found to be less than significant due to the inability of a project of this scope to create such impacts or the absence of project characteristics producing effects of this type. The following effects were determined not to be significant, and were not analyzed in the EIR; refer to Appendix A, Initial Study and Notice of Preparation, of the Final EIR.

FINDING:

The City finds that based on substantial evidence in the record, the following impacts, to the extent they result from the project, will be less than significant.

AESTHETICS

Have a substantial adverse effect on a scenic vista.

Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway.

AGRICULTURE RESOURCES

Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.

Conflict with existing zoning for agricultural use, or a Williamson Act contract.

Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g)).

Result in the loss of forest land or conversion of forest land to non-forest use.

Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use.

AIR QUALITY AND GLOBAL CLIMATE CHANGE

Create objectionable odors affecting a substantial number of people.



BIOLOGICAL RESOURCES

Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service.

Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service.

Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.

Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites.

Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan.

CULTURAL RESOURCES

Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines §15064.5.

Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines §15064.5.

Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature.

Disturb any human remains, including those interred outside of formal cemeteries.

GEOLOGY AND SOILS

Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

- 1) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.



4) Landslides.

Result in substantial soil erosion or the loss of topsoil.

Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water.

HAZARDS AND HAZARDOUS MATERIALS

Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands.

HYDROLOGY AND WATER QUALITY

Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.

Place within a 100-year flood hazard area structures which would impede or redirect flood flows.

Inundation by seiche, tsunami, or mudflow.

LAND USE AND PLANNING

Physically divide an established community.

Conflict with any applicable habitat conservation plan or natural community conservation plan.

MINERAL RESOURCES

Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state.

Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

POPULATION AND HOUSING

Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure).



Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere.

Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere.

PUBLIC SERVICES

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- 3) Schools.
- 4) Parks.
- 5) Other public facilities.

RECREATION

Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated.

Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment.

TRANSPORTATION/TRAFFIC

Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.

MANDATORY FINDINGS OF SIGNIFICANCE

Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory.



3.6 EFFECTS DETERMINED TO BE LESS THAN SIGNIFICANT IN THE FINAL PROGRAM EIR REQUIRING NO MITIGATION

FINDING:

The City finds that based on substantial evidence in the record, the following impacts, to the extent they result from the project, will be less than significant.

LAND USE

Consistency with City Land Use Plans, Policies, and Ordinances. The proposed project could conflict with the City of Los Alamitos General Plan.

Consistency with City Land Use Plans, Policies, and Ordinances. The proposed project could conflict with the standards and requirements of the City of Los Alamitos Zoning Code.

Consistency with City Land Use Plans, Policies, and Ordinances. The proposed project could conflict with the standards and requirements of the Airport Environs Land Use Plan.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable impacts involving conflicts with applicable land use plans, policies, or regulations.

TRAFFIC

Forecast Year 2013 Proposed Project Traffic Impacts on State Highway Facilities. Development associated with implementation of the proposed project could result in adverse impacts to the function of State highway facilities in the project area under Forecast Year 2013 traffic conditions.

Forecast Year 2035 Proposed Project Traffic Impacts on State Highway Facilities. Development associated with implementation of the proposed project could result in adverse impacts to the function of State highway facilities in the project area under Buildout Forecast Year 2035 traffic conditions.

Forecast Year 2013 Proposed Project Traffic Impacts on CMP Highway Facilities. Development associated with implementation of the proposed project could result in adverse impacts to the function of CMP in the project area under Forecast Year 2013 traffic conditions.

Forecast Year 2035 Proposed Project Traffic Impacts on CMP Highway Facilities. Development associated with the implementation of the proposed project could result in adverse impacts to the function of CMP in the project area under Buildout Forecast Year 2035 traffic conditions.



AIR QUALITY

Long-Term Mobile and Stationary Source Emissions. Development associated with implementation of the proposed project could result in an overall increase in mobile and stationary source emissions.

Carbon Monoxide Hotspots. Development associated with implementation of the proposed project could result in an overall increase in carbon monoxide hotspot emissions within the City.

NOISE

Construction-Related Vibration Impacts. Development associated with implementation of the proposed project could result in temporary vibration impacts to nearby sensitive receptors during grading and construction activities.

Mobile Noise Impacts. Traffic generated by the proposed project could contribute to existing traffic noise in the area or exceed the City's established standards.

Operational Stationary Source Noise Impacts. Development associated with implementation of the proposed project could result in stationary-source noise impacts on nearby sensitive receptors.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable construction noise impacts.

GEOLOGY AND SEISMIC HAZARDS

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable impacts related to geologic soils, and seismic hazards.

HAZARDS AND HAZARDOUS MATERIALS

Hazardous Materials Use, Storage and Handling. Development associated with implementation of the proposed project could result in an increased risk of upset associated with the routine use, generation, and transport of hazardous materials, hazardous waste, or accidental emission of hazardous materials or gases, which may potentially pose a health or safety hazard.

Hazardous Waste Generation. Development associated with implementation of the proposed project could increase hazardous waste generation by the hospital and medical office uses, which could substantially increase risks of environmental exposure.

Hazardous Materials Exposure. Implementation of the proposed project could increase the number of individuals exposed to, but not the nature of, physical safety hazards at the Los Alamitos Medical Center.



Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable hazards and hazardous materials impacts.

HYDROLOGY, DRAINAGE, AND WATER QUALITY

Dam Inundation. Development associated with implementation of the proposed project could result in urban uses being located on-site, which are in dam inundation areas of the City.

ELECTRICITY AND NATURAL GAS

Electricity Supplies and Distribution Infrastructure. Development associated with implementation of the proposed project could increase the demand for electricity services and facilities.

Natural Gas Supplies and Distribution Infrastructure. Development associated with implementation of the proposed project could increase the demand for natural gas services and facilities.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable electricity and natural gas impacts.



3.7 EFFECTS DETERMINED TO BE MITIGATED TO LESS THAN SIGNIFICANT IN THE FINAL PROGRAM EIR REQUIRING MITIGATION

The City having reviewed and considered the information contained in the Final Program EIR, the Technical Appendices and the administrative record, finds, pursuant to the *Public Resources Code* Section 21801 (a)(1) and *CEQA Guidelines* Section 15091 (a)(1) that changes or alterations have been required in, or incorporated to, the proposed project, which would avoid or substantially lessen to below a level of significance the following potentially significant environmental effects identified in the Final EIR in the following categories:

- Aesthetics (short-term construction aesthetic, light, and glare impacts; long-term aesthetic impacts/visual character; long-term light and glare impacts; and cumulative impacts)
- Traffic (Forecast Year 2013 proposed project traffic impacts, Forecast Year 2035 proposed project traffic impacts, traffic hazards/emergency access, short-term construction-related parking, and cumulative impacts)
- Air Quality/Greenhouse Gas Emissions (short-term construction emissions, consistency with Air Quality Management Plan, and greenhouse gas emissions)
- Noise (construction noise impacts)
- Geology and Seismic Hazards (seismic groundshaking, liquefaction, and expansive soils)
- Hazards and Hazardous Materials (construction-related hazardous materials impacts)
- Hydrology, Drainage, and Water Quality (drainage system capacity, water quality, erosion and siltation, and cumulative impacts)
- Fire Protection (construction-related fire impacts, operational-related fire impacts, and cumulative impacts)
- Police Protection (construction-related police impacts, operational-related police impacts, and cumulative impacts)
- Water (project impacts and cumulative impacts)
- Wastewater (wastewater conveyance and treatment and cumulative impacts)
- Solid Waste (solid waste generated during project construction, solid waste generated during project operation, and cumulative impacts)



AESTHETICS

Short-Term Construction Aesthetic, Light, and Glare Impacts. Construction activities associated with all phases of the proposed project could result in grading and construction activities that could temporarily alter the existing visual character of the project site and the surrounding area and introduce new sources of light/glare.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential physical blighting issues and visual character/quality conflicts during construction have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

- AES-1 Construction equipment staging areas shall use appropriate screening (i.e., temporary fencing with opaque material) to buffer views of construction equipment and material, when feasible. Staging locations shall be indicated in the Construction Management Plan (CMP).
- AES-2 All construction-related lighting shall be located and focused away from adjacent residential areas and consist of the minimal wattage necessary to provide safety at the construction site. A construction safety lighting plan shall be submitted to the City for review concurrent with Grading Permit applications and the Construction Management Plan (CMP).

Long-Term Aesthetic Impacts/Visual Character. Development associated with implementation of the proposed project could alter the existing visual character and viewshed from surrounding locations.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***



Facts in Support of Findings:

The potential physical blighting issues and visual character/quality conflicts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.

Mitigation Measure:

AES-3 Prior to issuance of building permits, each structure shall undergo Site Plan Review approval in conformance with the adopted Specific Plan and conditions of approval for overall site design and architectural conformity.

Long-Term Light and Glare Impacts. Development associated with implementation of the proposed project could affect daytime and/or nighttime views in the area.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential light and glare issues have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.

Mitigation Measure:

AES-4 Prior to site plan approval, the City of Los Alamitos Community Development Department shall ensure that the following elements are included in the project plans, as appropriate:

- The project plans shall comply with all lighting standards contained in the *Los Alamitos Medical Center Specific Plan*.
- The project plans shall comply with all lighting standards contained in the City's *Municipal Code*, including, but not limited to Chapter 8.48, Lighting Performance Standards, Section 17.14.040, Light and Glare, and Section 17.16.050, Exterior Lighting, as applicable.
- All exterior lighting shall be designed and located as to avoid intrusive effects on adjacent residential properties and undeveloped areas adjacent to the project site. Low-intensity street lighting and low-intensity exterior lighting shall be used throughout the development to the extent feasible. Lighting fixtures shall use shielding, if necessary, to prevent spill lighting on adjacent off-site uses.



- Design and placement of site lighting shall minimize glare affecting adjacent properties, buildings, and roadways.
- Fixtures and standards shall conform to state and local safety and illumination requirements.
- Development projects shall use minimally reflective glass, and all other materials used on exterior building and structures shall be selected with attention to minimizing reflective glare.
- Automatic timers on lighting shall be designed to maximize personal safety during nighttime use while saving energy.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable aesthetics, light, and glare impacts.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulative aesthetic impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures AES-1 through AES-4. No additional mitigation measures are required.

TRAFFIC

Forecast Year 2013 Proposed Project Traffic Impacts. Development associated with implementation of the proposed project could result in adverse impacts to the function of intersections in the project area under Forecast Year 2013 traffic conditions.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***



Facts in Support of Findings:

The potential Forecast Year 2013 traffic impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

TRF-1 Kaylor Street/Katella Avenue. Prior to issuance of certificate of occupancy for MOB A, the project applicant shall install the following improvements:

- Signalize the Kaylor Street/Katella Avenue intersection and lengthen the eastbound Katella Avenue left-turn pocket at Kaylor Street from 125 feet to 200 feet.
- Modify the Katella Avenue median to restrict the Maple Street/Katella Avenue intersection to right-in/right-out movements.
- To accommodate eastbound left-turn queuing of vehicles accessing the medical center, modify the raised median on Katella Avenue to include an eastbound left-turn pocket approximately 100 feet in length at the Driveway 3/Katella Avenue intersection (refer to Exhibit 5.3-25).
- Provide traffic signal interconnect and synchronization between the Kaylor Street/Katella Avenue intersection and the Cherry Street/Katella Avenue intersection.

TRF-2 Katella Avenue. Prior to issuance of certificate of occupancy for MOB A, the project applicant shall install the following improvements:

- Further implement the OCTA Smart Street Program by coordinating with the City to prohibit on-street parking on Katella Avenue adjacent to the project site between Kaylor Street and Bloomfield Street.
- Provide a dedicated right-turn lane at the westbound approach to the Kaylor Street/Katella Avenue and Driveway 3/Katella Avenue intersections (refer to Exhibit 5.3-25).
- Continue to prohibit on-street parking on the north side of Katella Avenue between Cherry Street and Kaylor Street.

Forecast Year 2035 Proposed Project Traffic Impacts. Development associated with implementation of the proposed project could result in adverse impacts to the function of intersections in the project area under Buildout Forecast Year 2035 traffic conditions.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***



Facts in Support of Findings:

The potential Forecast Year 2035 traffic impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures TRF-1 and TRF-2. In addition, the following mitigation measure is recommended.

TRF-3 Los Alamitos Boulevard/Cerritos Avenue. Prior to issuance of certificate of occupancy for Hospital Building 2, the project applicant shall pay a proportionate share contribution to the City of Los Alamitos to widen the westbound Cerritos Avenue approach from one left-turn lane, two through lanes, and one right-turn lane to consist of two left-turn lanes, two through lanes, and one right-turn lane.

Traffic Hazards/Emergency Access. Development associated with the implementation of the proposed project could result in hazardous conditions due to a design feature or incompatible use or could result in inadequate emergency access.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential traffic hazards and emergency access impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

TRF-4 Kaylor Street/Katella Avenue. Prior to issuance of certificate of occupancy for MOB A, the project applicant shall install the following improvements:

- A dedicated left-turn lane at the southbound approach on Katella Avenue to the Kaylor Street/Katella Avenue intersection.
- A dedicated right-turn lane at the southbound approach on Katella Avenue to the Kaylor Street/Katella Avenue intersection.

TRF-5 Cherry Street/Katella Avenue. Prior to issuance of certificate of occupancy for MOB A, the project applicant shall install the following improvement:

- A dedicated right-turn lane at the westbound approach to the Cherry Street/Katella Avenue intersection. Due to the restricted on-street parking,



a defacto right-turn lane currently exists, and can be striped to better facilitate right-turns.

TRF-6 Ambulance Service. The project applicant shall continue to coordinate with the applicable ambulance service and applicable agency staff on the site access for EMS deliveries. The applicant shall provide a wayfinding system for public understanding of the location of the Emergency Room when arriving at the Medical Center.

Short-Term Construction-Related Parking. Implementation of the proposed project could result in adverse impacts related to the function of parking systems during construction activities.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential short-term construction-related parking impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.

Mitigation Measure:

TRF-7 The project applicant shall prepare as part of the site plan submittal and implement during the construction phases of the project a Construction Management Plan. The Construction Management Plan shall include, but is not limited to, details on construction staging hours and construction equipment and supply staging locations, construction truck routes, and provisions for employee parking and parking management during construction. With respect to parking provisions during construction, the Construction Management Plan may include provisions for: 1) no construction worker parking on-site, and 2) off-site parking at an existing facility or facilities with a parking surplus, with a shuttle system, or other similar transportation method to and from the hospital campus. The Construction Management Plan shall be prepared as part of the site plan submittal and be approved by the Community Development Director prior to the issuance of any building permit.



Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable traffic impacts.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulatively considerable traffic impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measure TRF-1 through TRF-6. No additional mitigation measures are required.

AIR QUALITY/GREENHOUSE GAS EMISSIONS

Short-Term Construction Emissions. Development associated with implementation of the proposed project could generate dust and equipment emissions during construction.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential short-term construction emissions-related impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.



Mitigation Measures:

- AQ-1 Prior to issuance of any Grading Permit, the Director of Public Works and the Building Official shall confirm that the Grading Plan specifications stipulate that, in compliance with SCAQMD Rule 403, excessive fugitive dust emissions shall be controlled by regular watering or other dust prevention measures, as specified in the SCAQMD's Rules and Regulations. In addition, SCAQMD Rule 402 requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. Implementation of the following measures would reduce short-term fugitive dust impacts on nearby sensitive receptors:
- All active portions of the construction site shall be watered twice daily to prevent excessive amounts of dust;
 - On-site vehicle speed shall be limited to 15 miles per hour;
 - All on-site roads shall be paved as soon as feasible, watered twice daily, or chemically stabilized;
 - Visible dust beyond the property line which emanates from the project shall be prevented to the maximum extent feasible;
 - All material transported off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust prior to departing the job site;
 - Track-out devices shall be used at all construction site access points; and
 - All delivery truck tires shall be watered down and/or scraped down prior to departing the job site.
- AQ-2 All trucks that are to haul excavated or graded material on-site shall comply with State Vehicle Code Section 23114 (Spilling Loads on Highways), with special attention to Sections 23114(b)(F), (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads. Prior to the issuance of grading permits, the project applicant shall demonstrate to the City of Los Alamitos how the project operations subject to that specification during hauling activities shall comply with the provisions set forth in Sections 23114(b)(F), (e)(4).
- AQ-3 The following measures shall be implemented to reduce ROG emissions resulting from application of architectural coatings:
- Contractors shall use high-pressure-low-volume (HPLV) paint applicators with a minimum transfer efficiency of at least 50 percent;
 - Use required coatings and solvents with a ROG content lower than required under Rule 1113;
 - Construct/build with materials that do not require painting; and
 - Use pre-painted construction materials.



- AQ-4 Prior to issuance of any Grading Permit, the Director of Public Works and the Building Official shall confirm that the Grading Plan stipulates that, in compliance with SCAQMD Rule 403, ozone precursor emissions from construction equipment vehicles shall be controlled by maintaining equipment engines in good condition and in proper tune per manufacturer's specifications, to the satisfaction of the City Engineer. Maintenance records shall be provided to the City. The City Inspector shall be responsible for ensuring that contractors comply with this measure during construction.
- AQ-5 The project applicant shall comply with South Coast Air Quality Management District Rule 1403, Asbestos Emissions From Demolition/Renovation Activities, as applicable, which specifies work practice requirements to limit asbestos emissions from building demolition and renovation activities, including the removal and associated disturbance of asbestos-containing materials. The requirements for demolition and renovation activities include asbestos surveying, notification, asbestos containing materials removal procedures and time schedules, asbestos-containing materials handling and clean-up procedures, and storage, disposal, and landfiling requirements for asbestos-containing waste materials. All operators are required to maintain records, including waste shipment records, and are required to use appropriate warning labels, signs, and markings.

Consistency With Air Quality Management Plan. Implementation of the proposed project could conflict with the Air Quality Management Plan.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential conflicts with the Air Quality Management Plan have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures AQ-1 through AQ-4. No additional mitigation measures are required.



Greenhouse Gas Emissions. Development associated with implementation of the proposed project could generate greenhouse gas emissions that could have a significant impact on the environment.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential greenhouse gas emissions-related impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.

Mitigation Measure:

AQ-6 The Specific Plan shall include, but not be limited to, the following list of potential design features, as determined feasible by the project applicant in consultation with the Community Development Director. These features shall be incorporated into the Specific Plan and future buildings to ensure consistency with adopted statewide plans and programs. The project applicant shall demonstrate the incorporation of project design features prior to the issuance of building permits.

Energy Efficiency

- Design buildings to be energy efficient, above Title 24 requirements.
- Install light colored “cool” roofs and cool pavements, and strategically placed shade trees.
- Provide information on energy management services for large energy users.
- Install energy efficient heating and cooling systems, appliances and equipment, and control systems.
- Provide education on energy efficiency.

Water Conservation and Efficiency

- Create water-efficient landscapes.
- Use reclaimed water for landscape irrigation in new developments if available. Install the infrastructure to deliver and use reclaimed water.
- Restrict watering methods (e.g., prohibit systems that apply water to nonvegetated surfaces) and control runoff.
- Restrict the use of water for cleaning outdoor surfaces and vehicles.



- Implement low-impact development practices that maintain the existing hydrologic character of the site to manage storm water and protect the environment. (Retaining storm water runoff on-site can drastically reduce the need for energy-intensive imported water at the site).

Solid Waste Measures

- Reuse and recycle construction and demolition waste (including, but not limited to, soil, vegetation, concrete, lumber, metal, and cardboard).
- Provide interior and exterior storage areas for recyclables and green waste and adequate recycling containers located in public areas.

Transportation and Motor Vehicles

- Limit idling time for commercial vehicles, including delivery and construction vehicles.
- Promote ride sharing programs (e.g., by designating a certain percentage of parking spaces for ride sharing vehicles, designating adequate passenger loading and unloading and waiting areas for ride sharing vehicles, and providing a web site or message board for coordinating rides).
- Increase the cost of driving and parking private vehicles (e.g., imposing parking fees).
- Provide adequate bicycle parking near building entrances to promote cyclist safety, security, and convenience. Provide facilities that encourage bicycle commuting (e.g., locked bicycle storage or covered or indoor bicycle parking).
- Create bicycle lanes and walking paths directed to the location of schools, parks and other destination points.
- Provide information on all options for individuals and businesses to reduce transportation-related emissions. Provide education and information about public transportation.

NOISE

Construction Noise Impacts. Development associated with implementation of the proposed project could result in potentially significant adverse noise impacts on surrounding sensitive receptors during construction.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***



Facts in Support of Findings:

The potential construction noise impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

NOI-1 To reduce noise impacts due to construction, the project applicant shall require construction contractors to implement the following measures which shall be ongoing through demolition, grading, and/or construction:

- Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically-attenuating shields or shrouds, wherever feasible).
- Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electronically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used where feasible, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible.
- Stationary noise sources shall be located as far from adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporated insulation barriers, or other measures to the extent feasible.

NOI-2 Prior to the issuance of each grading permit, the project applicant shall submit to the City Building and Safety Department a list of measures to respond to and track complaints pertaining to construction noise, ongoing throughout demolition, grading, and/or construction. These measures shall include the following:

- A procedure and phone numbers for notifying the City Building and Safety Department staff and Los Alamitos Police Department (during regular construction hours and off-hours);
- A sign large enough to be visible by moving traffic posted on-site pertaining to the permitted construction days and hours and complaint procedures and who to notify in the event of a problem. The sign shall also include a listing of both the City and construction contractor's telephone numbers (during regular construction hours and off-hours);
- The designation of an on-site construction complaint and enforcement manager for the project. The manager shall act as a liaison between the



project and its neighbors. The manager's responsibilities and authority shall include the following:

- An active role in monitoring project compliance with respect to noise;
 - Ability to reschedule noisy construction activities to reduce effects on surrounding noise sensitive receivers;
 - Site supervision of all potential sources of noise (e.g., material delivery, shouting, debris box pick-up and delivery) for all trades; and
 - Intervening or discussing mitigation options with contractors.
- Notification of adjacent property owners and occupants at least 30 days in advance of construction activities about the estimated duration of the activity; and
 - A preconstruction meeting shall be held with the job inspectors and the general contractor/on-site project manager to confirm that noise measures and practices (including construction hours, neighborhood notification, posted signs, etc.) are completed.

GEOLOGY AND SEISMIC HAZARDS

Seismic Groundshaking. Development associated with implementation of the proposed project could be subject to high levels of groundshaking during a seismic event, which could result in substantial damage to on-site buildings.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential seismic groundshaking impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.



Mitigation Measures:

- GEO-1 The project applicant shall have a geologist registered by the State of California prepare a HAZUS Analysis prior to issuance of grading permits for the Hospital Buildings. Any recommendations in the study are applicable to the Hospital Buildings, if required by OSHPD, and shall be implemented during site grading and construction.
- GEO-2 Prior to issuance of a grading permit for each building, a registered geologist or soils engineer shall prepare an area-specific Geologic Study, which shall be submitted to the Community Development Department (Building and Safety) for approval. The Geologic Study shall specify the measures necessary to mitigate impacts related to liquefaction, expansion, and other geologic and seismic hazards, if any. All recommendations in the Geologic Study shall be implemented during area preparation, grading, and construction.
- GEO-3 Prior to issuance of any grading permit for each building, the project applicant shall comply with each of the recommendations detailed in the Geotechnical Study, and other such measure(s) as the City deems necessary to adequately mitigate potential seismic and geotechnical hazards.

Liquefaction. Development associated with implementation of the proposed project could be subject to liquefaction impacts resulting from groundshaking.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential liquefaction impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures GEO-1 and GEO-2. No additional mitigation measures are required.



Expansive Soils. Development associated with implementation of the proposed project could be located on expansive soils creating potential risk to life or property.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential expansive soil impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures GEO-1 through GEO-3. In addition, the following mitigation measure is required.

- GEO-4 If potentially expansive units (i.e., clay soils) are encountered during construction, they shall be evaluated by the Project Geotechnical Engineer. Special foundation designs and reinforcement shall be utilized to mitigate expansive material as specified by the Project Geotechnical Engineer and to the satisfaction of the City. Specifically, if clay soils are exposed at the deeper subgrade level, the Construction Contractor shall employ dewatering techniques, as the clay soils shall not be allowed to dry out.

HAZARDS AND HAZARDOUS MATERIALS

Construction-Related Hazardous Materials Impacts. Accidental release of hazardous materials during construction could result in a risk to workers, the public, or environment.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential construction-related hazardous materials impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.



Mitigation Measures:

- HAZ-1 Prior to site plan approval for each phase, the project applicant shall retain a qualified environmental specialist (e.g., a Registered Environmental Assessor or similarly qualified individual) to perform pre-construction hazardous materials surveys to inspect existing building areas subject to demolition or renovation for the presence of any unidentified asbestos, PCBs, mercury, lead, or other hazardous materials. If found at levels that require special handling, the project applicant shall manage these materials as required by law and according to federal and state regulations and guidelines, including those of the DTSC, SCAQMD, Cal/OSHA, and any other agency with jurisdiction over these hazardous materials.
- HAZ-2 Following the final Safety-Kleen facility monitoring event as determined by DTSC, a Risk Assessment shall be prepared and implemented by the Safety-Kleen in accordance with all applicable DTSC standards and regulations.
- HAZ-3 The project applicant shall prepare a Work Plan for Environmental Monitoring the Former Safety-Kleen Systems Service Center (3862-3878 Florista Street) for the proposed Parking Structure 1. The Work Plan shall properly analyze potential health hazards associated with the location of a new parking structure over the former Safety-Kleen facility, and shall be reviewed and approved by DTSC prior to demolition or asphalt cap/parking lot removal.

HYDROLOGY, DRAINAGE, AND WATER QUALITY

Drainage System Capacity. Development associated with implementation of the proposed project could create or contribute to runoff water which could exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential drainage system capacity impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.



Mitigation Measure:

HYD-1 Concurrent with Site Plan Review or issuance of a grading permit, whichever comes first, a hydrology review shall be conducted by a Registered Civil Engineer for each development phase to ensure that runoff values for each phase remain at or below the runoff values shown in Table 5.8-5.

Water Quality. Construction and operation of the proposed project could result in adverse water quality impacts.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.**
- 2. The effects identified in the EIR have been determined not to be significant.**

Facts in Support of Findings:

The potential water quality impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

HYD-2 Prior to issuance of any Grading Permit, a Final Water Quality Management Plan, which includes both Structural and Non-Structural BMPs in order to comply with the requirements of the current DAMP and NPDES, shall be prepared for each development phase and/or building, as appropriate, to the satisfaction of the Los Alamitos Director of Public Works and the City Engineer.

HYD-3 The project applicant shall implement the Best Management Practices identified in the Final Water Quality Management Plan.

HYD-4 Prior to issuance of any Grading or Building Permit, and as part of the future development's compliance with the NPDES requirements, the project applicant shall enroll electronically through the SMARTS program to comply with the State of California General Construction Permit. Proof of enrollment must be submitted to the City of Los Alamitos before issuance of grading or building permits. Also, a Stormwater Pollution Prevention Plan (SWPPP) shall be reviewed and approved by the Director of Public Works and the City Engineer for water quality construction activities on-site. A copy of the SWPPP shall be available and implemented at the construction site at all times. The SWPPP shall outline the source control and/or treatment control BMPs to avoid or mitigate runoff pollutants at the construction site to the "maximum extent practicable."



Erosion and Siltation. Development associated with implementation of the proposed project could substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which could result in substantial erosion or siltation on- or off-site.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential erosion and siltation impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures HYD-2 and HYD-4. No additional mitigation measures are required.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could contribute to cumulative hydrology and water quality impacts.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulative hydrology and water quality impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures HYD-2 and HYD-4. No additional mitigation measures are required.



FIRE PROTECTION

Construction-Related Fire Impacts. Construction of the proposed project could result in the need for additional fire flows and protection services.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential construction-related fire impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

- FP-1 Adequate access to all buildings on the project site shall be provided and properly maintained for emergency vehicles during the building construction process to the satisfaction of the Orange County Fire Authority.
- FP-2 Prior to construction, a will-serve letter from Golden State Water Company shall be obtained by the project applicant, which states that the Water Company can adequately meet water flow requirements.
- FP-3 Prior to the issuance of building permits, the project applicant may be required to enter into a Secured Fire Protection Agreement with the Orange County Fire Authority. The agreement shall specify the project applicant's pro-rata fair share funding of capital improvements necessary to establish adequate fire protection facilities and equipment, and/or personnel. Said agreement shall be reached as early as possible in the planning process, preferably for each phase of the project, rather than on a parcel-by-parcel basis.

Operational-Related Fire Impacts. Operation of the proposed project could result in the need for additional fire protection services.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***



Facts in Support of Findings:

The potential operational-related fire impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

- FS-4 All new structures shall have automatic fire sprinkler systems.
- FS-5 A supervised fire alarm system that meets requirements of the California Fire Code shall be placed in an accessible location with an annunciator.
- FS-6 Access to and around structures shall meet Orange County Fire Authority and California Fire Code requirements.
- FS-7 A water supply system shall be in place to supply fire hydrants and automatic fire sprinkler systems.
- FS-8 Roadway medians shall not exceed 1,000 feet without a turnaround. If medians are greater than 1,000 feet, emergency turnaround access for heavy fire equipment shall be provided.
- FS-9 All traffic signals on public access ways shall include the installation of optical preemption devices.
- FS-10 All electric gates within the project shall install emergency opening devices approved by the Orange County Fire Authority.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable impacts to fire protection services.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulatively considerable fire protection services impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures FS-1 through FS-10. No additional mitigation measures are required.



POLICE PROTECTION

Construction-Related Police Impacts. Construction of the proposed project could result in the need for additional police protection facilities and personnel.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential construction-related police impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.

Mitigation Measure:

- PS-1 During construction, private security patrols shall be utilized to protect the construction site during non-construction hours.

Operational-Related Police Impacts. Operation of the proposed project could result in the need for additional police protection facilities and personnel.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential operational-related police impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

- PS-2 As final site and building plans are submitted to the City for approval in the future, design requirements which reduce demands for service and ensure adequate public safety (such as those pertaining to site access, site security and lighting) shall be incorporated into building designs.



- PS-3 Project design shall landscape the project site with low-growing groundcover and shade trees, rather than a predominance of shrubs that could conceal potential criminal activity around buildings and parking areas.
- PS-4 Project design shall provide lighting around and throughout the development to enhance crime prevention and enforcement efforts.
- PS-5 Project design shall provide clearly visible (during the day and night) address signs and/or building numbers for easy identification during emergencies.
- PS-6 Project design shall provide visibility of doors and windows from the street and between buildings.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable impacts to police protection facilities and personnel.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulative police protection facilities and personnel impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures PS-1 through PS-6. No additional mitigation measures are required.

WATER

Project Impacts. Development associated with implementation of the proposed project could result in an increased demand for water supplies and infrastructure within the City.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***



Facts in Support of Findings:

The potential water supply and infrastructure impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.

Mitigation Measure:

WAT-1 Prior to the issuance of building permits, the project applicant shall submit construction drawings to the Golden State Water Company, and, as necessary, shall pay all applicable connection fees and comply with Golden State Water Company permitting and fee requirements.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable impacts to water systems, including increased demand and infrastructure facilities within the City.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulatively considerable water systems impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.

Mitigation Measure: Refer to Mitigation Measure WAT-1. No additional mitigation measures are required.

WASTEWATER

Wastewater Conveyance and Treatment. Development associated with implementation of the proposed project could result in increased demand for wastewater services and infrastructure in the City.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***



Facts in Support of Findings:

The potential wastewater conveyance and treatment impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

- WW-1 New sewer lateral sizes and connections shall be per the RLASD standards and all appropriate connection and inspection fees shall be paid. Plan check processing and permitting shall also be required from the RLASD.
- WW-2 An inspection fee shall be collected if a connection directly to an OCSD facility is necessary. The amount of the fee shall be based on the design of the connection. When prepared, a plan of the proposed connection should be submitted for review.
- WW-3 Capital Facility Capacity Charges (CFCCs) shall be collected to pay for additional capacity in the collection and treatment plant in accordance with the latest OCSD Fee Schedule, which is updated every first of July. Fees are based on the use and the square footage of the proposed facilities. A credit for existing uses at current rates shall be calculated and deducted from the total.
- WW-4 After construction has been completed, an annual regional user fee will be collected via the property tax roll for OCSD maintenance of the facilities; this fee shall be paid in accordance with the latest version of the OCSD Fee Schedule.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable impacts to wastewater systems, including increased demand and infrastructure facilities within the City.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulative wastewater systems impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures WW-1 through WW-4. No additional mitigation measures are required.



SOLID WASTE

Solid Waste Generated During Project Construction. Development associated with implementation of the proposed project could potentially result in increased solid waste generation in exceedance of landfill capacity during construction.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential solid waste impacts during construction have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures:

- SW-1 All demolition and construction shall be done in accordance with Los Alamitos Municipal Code Demolition Chapter 8.13.
- SW-2 Future development projects within the Los Alamitos Medical Center Specific Plan area shall comply with all applicable City, County, State, and Federal regulations and procedures for the use, collection, and disposal of solid and hazardous wastes.

Solid Waste Generated During Project Operation. Development associated with implementation of the proposed project could potentially result in increased solid waste generation in exceedance of landfill capacity during operation.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential solid waste impacts during operations have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measure identified in the EIR.



Mitigation Measure: Refer to Mitigation Measure SW-2. No additional mitigation measures are required.

Cumulative Impacts. Implementation of the proposed project and other related cumulative projects could result in cumulatively considerable impacts related to solid waste disposal services and landfill disposal capacity.

Findings:

- 1. Changes or alterations have been required in, or incorporated into, the project, which avoid or substantially lessen the significant environmental effect as identified in the EIR.***
- 2. The effects identified in the EIR have been determined not to be significant.***

Facts in Support of Findings:

The potential cumulative solid waste disposal service and landfill disposal capacity impacts have been eliminated or substantially lessened to a level of less than significant by virtue of the mitigation measures identified in the EIR.

Mitigation Measures: Refer to Mitigation Measures SW-1 and SW-2. No additional mitigation measures are required.



3.8 EFFECTS WHICH REMAIN SIGNIFICANT AND UNAVOIDABLE IN THE FINAL PROGRAM EIR AFTER MITIGATION AND FINDINGS

The City, having reviewed and considered the information contained in the Final EIR, Technical Appendices and the administrative record, finds, pursuant to *Public Resources Code* Section 21081 (a)(3) and *CEQA Guidelines* Section 15091 (a)(3), that specific economic, legal, social, technological, or other considerations, make infeasible the mitigation measures identified in the Final EIR and, therefore, the proposed project would cause significant unavoidable impacts in the category of:

- Air Quality/Greenhouse Gas Emissions (Cumulative [Greenhouse Gas Emissions] Impacts)

AIR QUALITY/GREENHOUSE GAS EMISSIONS

Cumulative (Greenhouse Gas Emissions) Impacts. Air quality emissions resulting from implementation of the proposed project and other related cumulative projects could impact regional air quality levels on a cumulatively considerable basis.

Findings:

1. ***Changes or alterations have been required in, or incorporated into, the project that avoid or substantially lessen the significant environmental effect as identified in the EIR.***
2. ***Impacts associated with project-generated greenhouse gas emissions have been reduced to the extent feasible. However, after implementation of the recommended mitigation measures contained in the EIR, the cumulative greenhouse gas emissions-related impacts would constitute a significant and unavoidable cumulative impact.***

Facts in Support of Findings:

The proposed project would promote the rehabilitation and updating of existing uses, promote the use of compact mixed-use, encourage the efficient use of infill parcels, and encourage the overall enhancement of the area.

Assembly Bill 32 (AB 32) requires the reduction of GHG emissions to 1990 levels that would require a 28 to 33 percent reduction in "business as usual" GHG emissions for the entire State. As detailed in the EIR, the proposed project would result in a less than significant impact regarding greenhouse gas (GHG) emissions, and would result in a 30 percent reduction in GHGs with implementation of Mitigation Measure AQ-6. However, the project-generated GHGs in combination with GHG emissions from other known and reasonably foreseeable projects would result in a much greater amount of GHG emissions. Although implementation of Mitigation Measure AQ-6 would reduce the proposed project's GHG emissions to a level that is



consistent with AB 32, such project-specific mitigation cannot be imposed upon cumulative projects.

The degree of future impacts and applicability, feasibility, and success of future mitigation measures cannot be adequately determined for each specific future project. As stated above, reducing GHG emissions to 1990 levels would require a 28 to 33 percent reduction in "business as usual" GHG emissions for the entire State. Although the project includes mitigation measures that would reduce GHG emissions, the City has not developed a Climate Action Plan or Greenhouse Gas Reduction Plan. Therefore, an accurate correlation cannot be made at this stage between GHG emissions from cumulative projects and the extent of potential GHG reductions that could be achieved. Future development within the project area would need to be analyzed on a project-by-project basis to determine the extent of each project's potential contribution to global climate change and appropriate mitigation measures specific to each project. Thus, as concluded in the EIR, impacts would be considered significant and unavoidable due to the magnitude of other cumulative projects, which would potentially hinder the intent and statewide reduction goals of AB 32. The proposed project's impacts associated with cumulatively considerable GHG emissions remain significant despite the implementation of the mitigation measures contained in the Final EIR.

Mitigation Measures: Refer to Mitigation Measures AQ-1 through AQ-6. No additional mitigation measures are required.

The overriding social, economic, and other considerations set forth in the Statement of Overriding Considerations and the Findings regarding Alternatives provide additional facts in support of these findings. Any remaining, unavoidable significant effects after available Final EIR mitigation measures are implemented are acceptable when balanced against the facts set forth therein.



3.9 PROJECT ALTERNATIVES AND ANALYSIS

Because the project would result in significant unavoidable environmental effects, the City Council considered the feasibility of any environmentally superior alternatives to the proposed project. In doing so, the City Council evaluated whether one or more of those alternatives could avoid or substantially lessen the project's significant unavoidable environmental effect(s) per *Public Resources Code* Section 21002. Where significant impacts can be mitigated to an acceptable (less than significant) level solely by the adoption of mitigation measures, the City, in drafting its findings, has no obligation to consider the feasibility of environmentally superior alternatives, even if their impacts would be less severe than those of the project as mitigated.

Accordingly, the City Council, in adopting the findings concerning project alternatives, considers only those environmental impacts of the proposed project that are significant and cannot be avoided or substantially lessened through mitigation. According to the analysis presented in the Final EIR, the proposed project would result in unavoidable significant impacts with regard to the following issue area:

- Air Quality (Cumulative Greenhouse Gas Emissions)

Where, as here, significant environmental effects would remain even after application of all feasible mitigation measures identified in the Final EIR, the City Council must adopt findings on the feasibility of project alternatives. If there is a feasible alternative to the project, decision makers must decide whether it is environmentally superior to the project.

'Feasible' means capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social and technological factors" (*Public Resources Code* Section 21061.1). The *CEQA Guidelines* provide a broader definition of "feasibility" that also encompasses "legal" factors. The concept of "feasibility," therefore, involves a balancing of various economic, environmental, social, legal and technological factors (*Public Resources Code* Sections 21061.1 and 21081; *CEQA Guidelines* Section 15364) Additionally, "'feasibility' under CEQA encompasses 'desirability' to the extent that desirability is based on a reasonable balancing of the relevant economic, environmental, social, and technological factors.

The City Council, having evaluated all potentially feasible alternatives, has rejected all of the alternatives evaluated in the Final EIR as infeasible. Findings for these conclusions are provided below.



NO PROJECT/NO DEVELOPMENT ALTERNATIVE

The No Project/No Development Alternative assumes the Los Alamitos Medical Center Specific Plan would not be implemented and the proposed land uses and other improvements would not be constructed. The project site would be unaltered and it is anticipated that the existing hospital and medical office facilities would continue to operate within its current capacity. It should be noted that the hospital currently is licensed for 167 beds.

Findings:

- 1. The findings relating to the proposed project set forth in this document and the overriding social, economic, and other issues set forth in the Statement of Overriding Considerations provide support for the proposed project and the elimination of this alternative from further consideration.**

Facts in Support of Findings:

Under this Alternative, the project site would continue to operate as the existing Los Alamitos Medical Center campus and would not be consistent with the City's General Plan goals and policies. This Alternative would fail to balance the growing population and availability of local medical services and would not upgrade the quality of the project site.

This Alternative would fail to adopt a Specific Plan that would implement specific Design Guidelines to achieve project identity. Past development on the existing Medical Center campus would continue to comply with the Conservation Element implementation measure 2-4.4.3 to "require new and substantial refurbished buildings to comply with the City's architectural guidelines and 'mission style' of design." While the implementation measure cites City architectural guidelines, none were adopted. In addition, the "mission style" of design has been widely interpreted on the Medical Center campus as development has occurred, and has not resulted in the campus having a unifying architectural theme or aesthetically coherent components. The Medical Center campus does not have a unique project identity, and is lacking thematically coherent and aesthetically pleasing architecture, landscaped areas, colors, signage, and entry statements, as no Design Guidelines are in place today for the Medical Center.

Further, the No Project/No Development Alternative would maintain the operation of the existing Los Alamitos Medical Center and associated medical office buildings at present levels; however, no additional project health care facilities would be constructed on-site. Without construction of the two new Hospital Buildings and one new Medical Office Building (MOB A), the ability to meet the expected growth in demand for health care services and to attract and maintain physician specialists would be reduced, and there would be fewer opportunities to provide patients with personalized care and state of the art technology within the existing Medical Center campus. Last, implementation of this Alternative would not create new permanent jobs.

As detailed above, under the No Project/No Development Alternative, the proposed two Hospital Buildings, one Medical Office Building (MOB A), and two parking structures would not



be developed. Therefore, none of the project objectives identified in Section 2.2 would be met under the No Project/No Development Alternative.

It is acknowledged that the proposed project would involve short- and long-term environmental impacts within the project area. However, as analyzed in this EIR, impacts would be less than significant or less than significant with mitigation with the exception of cumulative greenhouse gas emissions-related impacts. The No Project/No Development Alternative results in fewer impacts to aesthetics, light, and glare; traffic; air quality/greenhouse gas emissions; noise; geology and seismic hazards; hazards and hazardous materials; hydrology, drainage, and water quality; and public services and utilities. Greater impacts would be anticipated for land use. The cumulative greenhouse gas emissions-related impacts associated with the No Project/No Development Alternative are assumed to be the same as the proposed project (significant and unavoidable), as it is not possible to determine the project-specific mitigation that would be applied to cumulative projects to reduce greenhouse gas impacts.

Overall, implementation of the No Project/No Development Alternative would not implement the proposed Specific Plan for the project site. Future development would not be consistent with the General Plan goals and policies pertaining to achieving project identity. Also, the No Project/No Development Alternative would not create new permanent jobs or additional health care facilities to meet the expected growth in demand for health care services. Although the No Project/No Development Alternative is considered environmentally superior when compared to the proposed project, this Alternative would not eliminate the significant unavoidable cumulative greenhouse gas impact or achieve any of the project's objectives, as outlined in Section 2.3.

ALTERNATIVE ONE – RELOCATION OF PARKING STRUCTURE 1 AND MOB A

Under Alternative One (Relocation of Parking Structure 1 and Medical Office Building [MOB] A), all of the project components as proposed would be constructed:

- New Medical Office Building A
- New Hospital Building 1
- New Hospital Building 2
- New Central Plant
- Parking Structure 1
- Parking Structure

The square footage, number of hospital beds, structure height, and design characteristics, and would be the same as the proposed project. However, the site layout would be modified as follows:

- MOB A would be relocated from its proposed location along Katella Avenue between MOB A and the TotalCare Pavilion. MOB A could be relocated elsewhere on the project site. Possible relocation areas include adjacent to Hospital Building 1 off Florista Street or adjacent to MOB 3.



- Parking Structure 1 would be relocated to provide access directly off Katella Avenue and would be located between MOB 2 and the TotalCare Pavilion and the structure would be reoriented in a north-south direction.

Once complete, the Medical Center campus would include 582,824 square feet of hospital and hospital-related uses, medical office space, support facilities, and parking. At buildout, the Los Alamitos Medical Center campus would include 297,948 square feet of hospital and hospital-related uses; 260,776 square feet of medical office space; and 14,100 square feet of vital support facilities. The floor area ratio (FAR) would increase from an existing 0.45 FAR to 0.73 FAR once the Medical Center campus is built out.

Findings:

1. **The findings relating to the proposed project set forth in this document and the overriding social, economic, and other issues set forth in the Statement of Overriding Considerations provide support for the proposed project and the elimination of this alternative from further consideration.**

Facts in Support of Findings:

Similar to the proposed project, under this Alternative future development would comply with the General Plan Goals and Policies. This Alternative includes a Specific Plan that would ensure the campus is well-planned and well-designed, and has considered the site's circulation, environmental, and physical opportunities and constraints. The Specific Plan under this Alternative would ensure that future development is attractive, has a unique identity, and promotes quality development consistent with the visual character of the community. This Alternative would also allow for the long-term expansion of the existing hospital campus to meet the forecasted demand for health care services, similar to the proposed project. An additional 245 jobs would be provided on-site and in the City.

Under the Alternative One, two Hospital Buildings, one Medical Office Building (MOB A), and supporting facilities would be constructed, which would expand both medical services and facilities on the existing Los Alamitos Medical Center campus to link inpatient and outpatient services. Alternative One would meet all of the project's objectives, as identified in Section 2.3, and would provide the projected long-term hospital and medical office building demand based on projected growth trends.

It is acknowledged that the proposed project would involve short- and long-term environmental impacts within the project area. However, as analyzed in this EIR, impacts would be less than significant or less than significant with mitigation with the exception of cumulative greenhouse gas emissions-related impacts. The Alternative One results in similar impacts as the proposed project relative to: land use; traffic, air quality/greenhouse gas emissions; noise; geology and seismic hazards; hazards and hazardous materials; hydrology, drainage, and water quality; and public services and utilities. The cumulative greenhouse gas emissions-related impacts associated with Alternative One are assumed to be the same as the proposed project (significant and unavoidable), as it is not possible to determine the project-specific mitigation that would be applied to cumulative projects to reduce greenhouse gas impacts.



In conclusion, Alternative One is not considered environmentally superior when compared to the proposed project, and was not selected as the environmentally superior alternative.

ALTERNATIVE TWO – PHASES 1 AND 2 ONLY

Alternative Two (Phases 1 and 2 Only) would include only MOB A, Hospital Building 1, and Parking Structure 1 along with supporting infrastructure (i.e., utilities). Hospital Building 2, Parking Structure 2, and the Central Plant would not be implemented.

The square footage, number of hospital beds, structure height, design characteristics, and site layout of MOB A and Hospital Building 1 would be the same as the proposed project. Consequently, this Alternative would result in a net increase over existing conditions of 88,100 square feet of hospital uses (yielding a net increase of 38 new beds), and 51,100 square feet of medical office building uses. This Alternative would result in a total of 480,624 square feet of hospital and medical office building uses and a total of 205 hospital beds, and a Floor Area Ratio of 0.60 on-site. This Alternative would reduce hospital building and central plant uses by 88,100 and 14,100 square feet, respectively, relative to the proposed project, which is a 17 percent reduction in project development.

Parking associated with this Alternative would also be reduced, due to a reduction in demand from the reduced site density. Under this alternative, parking structure 1 would be constructed, while parking structure 2 would be eliminated from the Specific Plan. The need for parking structures would be further reduced by the additional availability for surface parking where hospital building 2 was proposed.

Findings:

- 1. The findings relating to the proposed project set forth in this document and the overriding social, economic, and other issues set forth in the Statement of Overriding Considerations provide support for the proposed project and the elimination of this alternative from further consideration.**

Facts in Support of Findings:

Similar to the proposed project, under this Alternative future development would comply with the General Plan Goals and Policies. This Alternative includes a Specific Plan that would ensure the campus is well-planned and well-designed, and has considered the site's circulation, environmental, and physical opportunities and constraints. The Specific Plan under this Alternative would ensure that future development is attractive, has a unique identity, and promotes quality development consistent with the visual character of the community. This Alternative would also allow for the long-term expansion of the existing hospital campus. However, without the construction of Hospital Building 2, the ability to help meet the expected growth in demand for health care services would be reduced, as compared to the proposed project. An addition 188 jobs (less than the proposed project) would be provided on-site and in the City.



Alternative Two only provides for the construction of Hospital Building 1, MOB A, and Parking Structure 1, but does not allow for the construction of Hospital Building 2 and the Central Plant that would provide additional opportunities to expand both medical services and facilities on the campus and link inpatient and outpatient services. Alternative Two partially meets the objectives of the proposed project by increasing hospital capacity to meet some of the increasing needs of its service area. However, not all of the project's goals, as outlined in Section 2.3, would be achieved with implementation of Alternative Two.

It is acknowledged that the proposed project would involve short- and long-term environmental impacts within the project area. However, as analyzed in this EIR, impacts would be less than significant or less than significant with mitigation with the exception of cumulative greenhouse gas emissions-related impacts. Alternative Two results similar impacts to land use and hydrology, drainage, and water quality. This Alternative would result in a reduction of impacts to aesthetics, light, and glare; traffic; air quality/greenhouse gas emission; noise; geology and seismic hazards; hazards and hazardous materials; and public services and utilities. The cumulative greenhouse gas emissions-related impacts associated with Alternative Two are assumed to be the same as the proposed project (significant and unavoidable), as it is not possible to determine the project-specific mitigation that would be applied to cumulative projects to reduce greenhouse gas impacts.

Overall, implementation of Alternative Two would reduce the most environmental impacts (as compared to the project and other alternatives considered), and would meet most of the basic objectives of the project; in particular, it would help meet future health care needs and help maintain the viability of the hospital. Alternative Two was identified as the environmentally superior alternative to the proposed project.

SUMMARY

For the reasons described above, the City Council expressly rejects each of the alternatives analyzed in the EIR in favor of the proposed project because none of the alternatives analyzed is feasible based on specific economic, legal, social, technological, and other grounds.



4.0 CERTIFICATION OF THE FINAL EIR

The City Council declares that no new significant information as defined by the *CEQA Guidelines* Section 15088.5, has been received by the Council after circulation of the EIR that would require recirculation.

The City Council certifies the Environmental Impact Report based on the following findings and conclusions:

4.1 FINDINGS

The project would have the potential for creating significant adverse impacts. These significant adverse environmental impacts have been identified in the EIR and will require mitigation as set forth in the Findings. Significant adverse impacts which cannot be mitigated to a level of insignificance after mitigation include cumulative greenhouse gas emissions, as discussed in the Findings.

4.2 CONCLUSIONS

1. Except as to those impacts stated above relating to cumulative greenhouse gas emissions, all other significant environmental impacts from the implementation of the proposed project have been identified in the EIR and, with implementation of the mitigation measures identified, will be mitigated to a level of insignificance.
2. Alternatives to the proposed project, which could potentially achieve the basic objectives of the proposed project, have been considered and rejected in favor of the proposed project.
3. Environmental, economic, social, and other considerations and benefits derived from the development of the proposed project override and make infeasible any alternatives to the proposed project or further mitigation measures beyond those incorporated into the proposed project.



5.0 STATEMENT OF OVERRIDING CONSIDERATIONS

5.1 INTRODUCTION

The *California Environmental Quality Act (CEQA)* and the *CEQA Guidelines* provide in part the following:

- a) *CEQA* requires that the decision maker balance the benefits of a proposed project against its unavoidable environmental risks in determining whether to approve the project. If the benefits of the proposed project outweigh the unavoidable adverse environmental effects, the adverse environmental effects may be considered "acceptable."
- b) Where the decision of the public agency allows the occurrence of significant effects that are identified in the General Plan EIR but are not mitigated, the agency must state in writing the reasons to support its action based on the General Plan EIR and/or other information in the *CEQA Guidelines* Section 15091 (a)(2) or (a)(3).
- c) If an agency makes a statement of overriding considerations, the statement should be included in the record of the project approval and should be mentioned in the Notice of Determination (*CEQA Guidelines* Section 15093).

The City, having reviewed and considered the information contained in the Final Program EIR for the proposed project, Responses to Comments, and the public record, adopts the following Statement of Overriding Considerations that have been balanced against the unavoidable adverse impacts in reaching a decision on this project.

5.2 SIGNIFICANT UNAVOIDABLE IMPACTS

Although all potential project impacts have been substantially avoided or mitigated as described in the preceding findings, there is no complete mitigation for the following project impact:

- Air Quality (cumulative [greenhouse gas emissions] impacts)

Details of this significant unavoidable adverse impact were discussed in the Los Alamitos Medical Center Specific Plan Program EIR and are summarized, or were otherwise provided in Section 3.8, Effects Which Remain Significant and Unavoidable in the Final Program EIR After Mitigation and Findings, in the Statement of Facts and Findings.

5.3 OVERRIDING CONSIDERATIONS

To the extent that the significant effects of the project are not avoided or substantially lessened to below a level of significance, the City, having reviewed and considered the information contained in the Los Alamitos Medical Center Specific Plan Program EIR and the public record,



and having balanced the benefits of the project against the unavoidable effects which remain, finds that such unmitigated effects to be acceptable. Although such unavoidable impacts remain in the project, the City of Los Alamitos had determined that there are significant economic, social and employment opportunities within the project to adopt a Statement of Overriding Consideration as follows:

1. Provides new jobs for the construction of the Hospital and new jobs for the operation of the Hospital. The creation of jobs in the City of Los Alamitos and the surrounding region is critical to the City and regional economic health. The project would directly create 465 construction jobs in phase one for 15 months, 550 construction jobs for 36 months in Phase Two and 650 construction jobs for 36 months during Phase 3 and 141 jobs for every 10 percent of increase in volume for the hospital. According to the Labor Market Information Division of the State of California, the Orange County unemployment rate as of August 2010 was 9.6 percent. The project will create a total of 1,665 construction jobs as well as permanent jobs associated with the increase in medical services. Further the project will create additional job opportunities for other businesses in the City and region as many industry activities are conducted through numerous subcontractors and will create additional indirect jobs beyond those directly created by the project.
2. Increase of daytime population. The Los Alamitos Medical Center campus is an economic catalyst for many related businesses. In addition, the Medical Center campus brings with it an average of 562 hospital employees plus approximately 90 physicians each day plus the office staff in the medical office buildings, patients, and visitors who are consumers within the community. By having a daytime population that can purchase goods and services in Los Alamitos bolsters the businesses that are already in City. Business retention, expansion, and attraction are the keys to Economic Development in any community. Business follows business and, in this case, the Medical Center campus continues to attract medical professionals, suppliers, and consumers to the City. Primary employers introduce new money into the local economy by bringing in money from outside the community. For example, goods and merchandise created by companies are not typically purchased only by local individuals living in Los Alamitos. As noted in *Community Economic Analysis – A How To Manual* by Ronald J. Hustedde, Ron Shaffer, and Glen Pulver (revised May 2005), once a dollar enters a community, economic theorists believe it is turned over, or spent, an average of seven times at local stores and restaurants.
3. Accommodate a shift from multi-occupancy patient rooms to predominately single occupancy patient rooms while providing a net increase of 38 new patient beds at Phase 2 and 164 new patient beds at full build out. According to the California Office of Statewide Healthcare Planning and Development the total number of licensed beds in Orange County decreased from 80,183 to 78,616 between 1995 and 2009. The increase in the new patient beds will allow the Los Alamitos Medical Center campus to transfer patients more quickly from emergency rooms to hospital beds as patients' medical conditions permit instead of clogging the emergency room. The net increase will also allow the Hospital to convert multi-occupancy rooms to predominately single occupancy thereby improving conditions for inpatients. This is critical since a total of 70 emergency departments have closed in California over the past ten years.



4. Meet the health needs of the Los Alamitos area with an expanded state-of-the-art modern facility. The project will expand Los Alamitos Medical Center campus' ability to provide health services to the community at a time when other hospitals are closing. The Hospital Association of Southern California in its Facility Closure History reports that over 15 hospitals in Orange and Los Angeles Counties have closed or eliminated inpatient services since 2000, which represents a loss of over 2,800 patient beds. The project would enhance and improve emergency services available providing a valuable community resource easily accessible and centrally located in the community. The project would also meet the present and future health care needs of the community by expanding and evolving the Hospital. The expansion of the campus is critical to make up for the loss of medical services around the region, prepare for the influx of adults at the age of 65 and older projected to increase by 45 percent from 2009 to 2020 in Orange County, prepare for the newly insured as projected by Health Care Reform at 32 to 34 million patients nationwide and to provide up-to-date technology with new buildings.
5. Enhance open space landscaping and seating/solitude areas on the Hospital Campus. The project will substantially increase the amount of open space landscaping and garden areas on-site while also enhancing the surrounding streetscape. These measures will beautify the campus and provide a more welcoming therapeutic and aesthetically pleasing environment that will benefit patients, workers, visitors, and the community as a whole.
6. Meet the seismic requirements of the Alfred E. Alquist Hospital Facilities Seismic Safety Act of 1994. California has experienced major, catastrophic earthquakes in the past and will in the future. Geologic and archaeological evidence shows a long history of major earthquakes. Earthquakes worldwide have killed millions, injured and left homeless tens of thousands, and caused inestimable economic losses. History has recorded more than 3,400 deaths attributable to California earthquakes during the last century. The design of the new Hospital Building must comply with the requirements of the Alfred E. Alquist Hospital Facilities Seismic Safety Act of 1994, to maintain the hospital's ability to treat patients after a seismic event. In addition the project would create an up-to-date and expanded facility to meet the growing needs of the community during times of crisis.
7. Replace aging facilities with modern cost-effective, technologically current buildings and equipment. The project will allow the Los Alamitos Medical Center campus to continue providing the highest quality medical care through modernization and expansion of its facilities to accommodate rapidly changing healthcare technologies and changing methods of delivery of healthcare services. The implementation of the Specific Plan will enable the Hospital to respond to the needs of the community by providing modern facilities capable of delivering the highest quality medical care.
8. Maintain the viability of the Hospital as a critical facility for emergencies and hazard events. The Hospital is centrally located in Los Alamitos, adjacent to the City's major arterials of Katella Avenue and Los Alamitos Blvd. As the Hospital is isolated from other facilities in Orange County (being located at the far northern boundary with the Pacific Ocean to the south), it is a critical facility for emergency and hazard events.



Implementation of the Specific Plan would further the viability of the Hospital as a critical facility for emergencies and hazard events. Los Alamitos Medical Center campus plays a key role among two high profile targets in the event of an emergency, the Joint Forces Training Base (JFTB) and Port of Long Beach.

9. Implement a plan for the development and growth of the Hospital for the next 25 years. The Specific Plan would allow a superior development that could not occur without the development standards contained within the Specific Plan. The Specific Plan proposes Site Planning, Building Envelope, Open Space, Circulation, Mechanical Equipment Area Lighting Signage, and Sustainability and Energy Conservation Design Guidelines that would not exist without the Specific Plan. Further, the Specific Plan would ensure orderly and planned development to serve the community.
10. Expand the Hospital on the existing site in a centralized location and close to major transportation corridors to reduce vehicle miles traveled. Containing the inpatient and outpatient care within a cohesive core of connected facilities will improve the efficiency of patient transfers and emergency room services as well as convenience to doctors, staff, patients, and visitors especially as the campus is accessible from major transportation corridors. Residents will not have to travel out of town for medical services and residents will be able to take advantage of job opportunities provided by the Medical Center campus close to home. These attributes will enable vehicle miles traveled to be reduced for the community as a whole, especially as there are nearly three residents per job in the City of Los Alamitos.
11. Improve the inpatient experience by converting double occupancy rooms to single occupancy rooms and constructing additional new single-occupancy rooms. Patient privacy and comfort will be enhanced by converting existing multi-occupancy rooms to single occupancy rooms and providing additional new single occupancy rooms. This will enhance patients comfort and experience and thereby encourage the speedy recovery of patients with more individualized and personal attention. In addition, Hospitals are required to comply with the Health Insurance Portability and Accountability Act of 1996 (HIPPA Privacy Rule). This is a Federal rule covering the health-care industry and is designed to protect patients and their health information. Single patient rooms provide for privacy and confidentiality when discussing sensitive medical and social information. In addition, private rooms have been found to assist in combating the spread of infection.
12. Replace outdated buildings and equipment with new more energy efficient and environmentally sensitive structures and systems. The project will replace old and inefficient buildings and equipment with new more energy efficient and environmentally sensitive structures and systems.
13. Improve circulation on the Hospital site. The project provides a circulation plan that improves vehicular and pedestrian circulation. With the vacation of Kaylor as it traverses the site, a more cohesive and integrated project site will be created. New driveway aisles and parking areas will be created and certain driveways will be closed in order to enhance circulation.



14. Guarantee revenues from the Hospital site. The Los Alamitos Medical Center guarantees that, in the event that the City receives less than \$40,000 in annual revenues attributable to the subject property in the first five years beginning after the Certificate of Occupancy is issued for the Medical Center, the Medical Center will make annual payments to the City to cover such deficiency.

Although significant impacts will remain, the City will mitigate any significant adverse impacts to cumulative air quality impacts (pertaining to cumulative greenhouse gas emissions) to the maximum extent practicable. In its decision to approve the project, the City has considered the project benefits to outweigh the environmental impacts.

RESOLUTION 2011-03

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS ADOPTING GENERAL PLAN AMENDMENT (GPA 09-01) TO CHANGE THE LAND USE DESIGNATION FROM COMMUNITY AND INSTITUTIONAL, PLANNED INDUSTRIAL AND PROFESSIONAL OFFICE TO THE NEWLY CREATED SPECIFIC PLAN LAND USE DESIGNATION FOR THE CONSTRUCTION OF A PROPOSED THREE-PHASE MASTER PLANNED EXPANSION INCLUDING THE PROVISION OF AN ADDITIONAL 164 HOSPITAL BEDS, TWO NEW HOSPITAL BUILDINGS, ONE NEW MEDICAL OFFICE BUILDING TO BE USED FOR ADDITIONAL OUTPATIENT AND ASSOCIATED MEDICAL USES, AND AN ADDITIONAL 849 PARKING SPACES (HEREAFTER "PROJECT") FOR A PROJECT GENERALLY LOCATED AT AND AROUND 3751 KATELLA AVENUE (HEREAFTER "SUBJECT PROPERTY"); (APPLICANT: LOS ALAMITOS MEDICAL CENTER)

WHEREAS, General Plan Amendment 09-01 is necessary for the adoption of the Los Alamitos Medical Center (LAMC) Specific Plan; and,

WHEREAS, a verified application has been filed for certain properties designated as 242-151-20, 242-152-20, 242-152-21, 242-162-13, 242-162-14, 242-163-11, 242-163-12, 242-163-13, 242-163-14; and,

WHEREAS, the verified application constitutes an application as required by Section 17.54 of the Los Alamitos Municipal Code; and,

WHEREAS, the original General Plan of the City of Los Alamitos was adopted in 1999, under City Council Resolution No 1726; and,

WHEREAS, the City General Plan was updated and approved under City Council Resolution No.1812 on March 26, 2001; and,

WHEREAS, the adopted General Plan, is a policy document intended to facilitate decision making relative to the physical development of the City and to reflect the existing conditions, requirements, and constraints of the City; and,

WHEREAS, Government Code §65358 allows the City, when it deems it to be in the public interest, to amend all or part of the General Plan, provided that no single mandatory Element may be amended more than four times during any calendar year, except that each amendment may include more than one change to the General Plan; and,

WHEREAS, General Plan Amendment GPA 09-01 which proposes to modify the land use designation applied to Assessor Parcel Numbers 242-163-11, 242-163-13 and portion of 242-163-12 from Community and Institutional to Specific Plan has been submitted to the Planning Commission; and,

WHEREAS, General Plan Amendment GPA 09-01 which proposes to modify the land use designation applied to Assessor Parcel Numbers 242-151-20, 242-152-20, 242-162-14, 242-163-14 and portion of 242-162-13 from Planned Industrial to Specific Plan, has been submitted to the Planning Commission; and,

WHEREAS, General Plan Amendment GPA 09-01 which proposes to modify the land use designation applied to Assessor Parcel Numbers 242-152-21, portion of 242-162-13 and portion of 242-163-12 from Professional Office to Specific Plan, has been submitted to the Planning Commission; and,

WHEREAS, the Planning Commission held a scoping meeting prior to the development of an Environmental Impact Report on May 10, 2010; and,

WHEREAS, the Planning Commission at their September 13, 2010 meeting set the Public Hearing date for October 11, 2010 by adopting Resolution No. 10-18; and,

WHEREAS, the Planning Commission held a public hearing concerning this General Plan Amendment on October 11, 2010; and,

WHEREAS, the Planning Commission held their first public hearing on October 11, 2010 which was continued to the November 8, 2010; and,

WHEREAS, the Planning Commission completed the public hearing and adopted Resolution No. PC 10-22 recommending to the City Council adoption of General Plan Amendment (GPA 09-01) to change the Land Use Designation; and,

WHEREAS, some members of the public have expressed concern that this project could prevent future development in the area; and,

WHEREAS, LAMC has offered to guarantee that, in the event that the City receives less than \$40,000 in annual revenues attributable to the subject property in the first five years beginning after the Certificate of Occupancy is issued for LAMC, LAMC will make annual payments to the City to cover such deficiency; and,

WHEREAS, the City Council has considered information presented by the applicant, the Community Development Department, and other interested parties at public meetings and hearings held by the Planning Commission, Traffic Commission and City Council on May 10, 2010, September 13, 2010, October 11, 2010 November 8, 2010, December 8, 2010 January 18, 2011 and February 7, 2011; and,

WHEREAS, after consideration of all applicable staff reports and all information testimony, and evidence presented at the public hearing, the City Council does hereby make the following findings of fact for the proposed General Plan Amendment as required by Los Alamitos Municipal Code Section 17.70.050:

- A. The proposed amendments ensure and maintain internal consistency with the actions, goals, objectives, and policies of the General Plan, and would not create any inconsistencies with the Zoning Code as described as follows:

Applicable General Plan Implementing Goals and Policies	Consistency of Proposed Project
LAND USE ELEMENT	
<p>Goal 1: Preserve and promote land uses which reflect Los Alamitos' small-town character with due regard for economic development and future growth potential.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located within an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.</p>
<p>Goal 2: Preserve and enhance the quality of the City's residential neighborhoods.</p>	<p><u>Consistent.</u> The proposed project would result in the expansion of the existing Los Alamitos Medical Center campus. No expansion beyond the existing property boundaries would occur with the proposed project. Thus, the proposed project would not adversely affect the quality of existing residential neighborhoods.</p>
<p>Goal 3: Promote and upgrade the quality of the City's commercial, industrial, and open space areas.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant, and an additional 849 parking spaces. The proposed project would upgrade the quality of the project site.</p>
LAND USE ELEMENT	
<p>Policy 1-1.1: Employ accepted planning and engineering standards and practices as the basis for determining the compatibility of new land uses with existing uses.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus and adoption of a Specific Plan to guide future development. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.</p>
<p>Policy 1-1.2: Adopt feasible mitigation measures throughout the land use decision-making process to reduce impacts of new or expanded uses on existing residential neighborhoods.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus and would not adversely impact existing residential neighborhoods and would be consistent with such existing development, subject to review and approval by the City. This EIR has identified a number of mitigation measures to reduce project-related impacts.</p>
<p>Applicable General Plan Implementing Goals and Policies</p>	<p>Consistency of Proposed Project</p>
<p>Policy 1-1.3: Maintain consistency among General Plan Policies and Programs, the Zoning Ordinance, and related development regulations.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. Approval of the <i>Los Alamitos Medical Center Specific Plan</i> would be preceded by a General Plan Amendment that would create a new Specific Plan Land Use Designation over the entire Medical Center campus ("Specific Plan"). Furthermore, upon approval of the Specific Plan the Medical Center campus would be zoned "Specific Plan" with development standards and development parameters governed by this Specific Plan document. Project design standards and regulations would be subject to review and approval by the City.</p>
<p>Policy 1-1.4: Encourage commercial, office, and industrial uses which are compatible with surrounding residential neighborhoods.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.</p>
<p>Policy 1-3.1: Apply appropriate and consistent standards in land use and site plan approvals to achieve continuity and cohesion in the physical development of the City.</p>	<p><u>Consistent.</u> The project site is currently developed and occupied by the Los Alamitos Medical Center campus. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions. The proposed project</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	would be visually consistent with on-site and adjoining uses, consistent with the City's Early California theme, and consist of similar mass, heights, and landscaping. Refer to <u>Section 5.2, Aesthetics</u> , for a discussion of aesthetic impacts and mitigation measures.
Policy 1-4.1: Consider the fiscal impacts to the City as an integral part of land use decision-making.	<u>Consistent.</u> The proposed project includes medical service uses that would provide tax revenue to the City, while increased demands on public services and utilities from future on-site uses may require additional expenditures.
Policy 1.4-2: Base land use decisions on reasoned analysis incorporating technical standards for review included in the respective Elements of the General Plan.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. Approval of the <i>Los Alamitos Medical Center Specific Plan</i> would be preceded by a General Plan Amendment that would create a new Specific Plan Land Use Designations over the entire Medical Center campus ("Specific Plan"). Furthermore, upon approval of the Specific Plan the Medical Center campus would be zoned "Specific Plan" with development standards and development parameters governed by this Specific Plan document. Project design standards and regulations would be subject to review and approval by the City.
Policy 1-4.3: Consider General Plan Policies and Programs in making land use decisions.	<u>Consistent.</u> This table provides a review of applicable <i>General Plan</i> policies and programs. The policies and programs have also been reviewed in the <i>Los Alamitos Medical Center Specific Plan</i> .
Policy 1-6.1: Develop and implement land use programs which address and promote the architectural and site design characteristics associated with small town character.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions. The proposed project would be visually consistent with on-site and adjoining uses, consistent with the City's Early California theme, and consist of similar mass, heights, and landscaping. Refer to <u>Section 5.2, Aesthetics</u> , for a discussion of aesthetic impacts and mitigation measures. Furthermore, the proposed project would be subject to design review and approval by the City to ensure consistency with the small town community character.
CONSERVATION ELEMENT	
Goal One: Protect Los Alamitos' ground water resources from depletion and pollution.	<u>Consistent.</u> Domestic water is provided to the existing Los Alamitos Medical Center campus by the Golden State Water Company. Existing water lines ranging from six to eight inches are located in Catalina Street, Kaylor Street, Florista Street, Bloomfield Avenue, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet Golden State Water Company requirements. It is anticipated that the proposed buildings within the Specific Plan Area would tie into existing pipes in adjacent streets. Proposed new buildings would be served by the existing water lines through a series of laterals. Additionally, subsurface water storage would be located within the campus (located adjacent to Kaylor Street near Hospital Building 1) to provide for emergency water supply in the case of temporary water service interruption per State requirements for hospitals. Future development within the project site would increase the demand for water resources. Refer to <u>Section 5.11, Water</u> , for a discussion of impacts and mitigation measures related to water supply and demand.

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	Stormwater drainage in the City is mostly provided by a network of local drainage facilities. Site-specific drainage patterns could change due to project-related grading. According to Appendix F, <i>Final Hydrology Report</i> , the proposed project would not increase impervious surfaces. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> , for a discussion of impacts and mitigation measures related to ground water resources.
Goal Two: Improve air quality.	<u>Consistent.</u> Although the proposed project would not exceed the growth projections used as the basis for the SCAQMD's most recent AQMP, the proposed project would implement all feasible mitigation measures to reduce air pollutant emissions, which would serve to minimize conflicts with applicable policies, plans, and programs resulting from project implementation. Refer to <u>Section 5.4, Air Quality/Greenhouse Gas Emissions</u> , for a discussion of impacts and mitigation measures related to air quality policies, plans, and programs.
Goal Three: Reduce Los Alamitos' solid waste stream.	<u>Consistent.</u> Solid waste disposal service for the Medical Center campus would be provided by Consolidated Waste Disposal. Refer to <u>Section 5.13, Solid Waste</u> , for a discussion of impacts and mitigation measures related to solid waste federal, state, and local statutes and regulations.
Goal Five: Encourage the conservation of energy.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.
Goal Six: Preserve and enhance the quality of the City's landscaped environment.	<u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the LAMC and the <i>Los Alamitos Medical Center Specific Plan</i> . A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Planning Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.
Policy 2-1.1: Encourage the use of drought tolerant landscapes in new developments and encourage the replacement of existing water consumptive landscapes.	<u>Consistent.</u> To the extent possible, the Los Alamitos Medical Center would continue to promote water conservation and reclamation (i.e., landscaping with drought-tolerant plants and recycled water) to reduce water consumption. All landscaping and irrigation systems and plans shall conform to the requirements of the LAMC and the <i>Los Alamitos Medical Center Specific Plan</i> .
Policy 2-1.2: Encourage the conservation of water used for irrigation in parks, golf courses, recreation areas, commercial and industrial uses, and schools through the use of low-flow drip systems and water-efficient irrigation systems.	<u>Consistent.</u> Future development within the project site would increase the demand for water resources. All landscaping and irrigation systems and plans shall conform to the requirements of the LAMC and incorporate drought tolerant plants. The proposed project would incorporate all recommendations and requirements of the Golden State Water Company and Orange County Fire Authority. Refer to <u>Section 5.11, Water</u> , for a discussion of impacts and mitigation measures related to water supply and demand, and fire flow.
Policy 2-1.3: Comply with the policies and programs contained in the City's Water Conservation Ordinance.	<u>Consistent.</u> To the extent possible, the Los Alamitos Medical Center would continue to promote water conservation and reclamation (i.e., landscaping with drought-tolerant plants and recycled water) to reduce water consumption. The hospital would also comply with the policies and programs contained in the City's Water Conservation Ordinance. Refer to <u>Section 5.11, Water</u> , for a discussion on impacts and

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	mitigation measures related to water.
Policy 2-1.4: Regulate commercial and industrial land uses to guard against the pollution of Los Alamitos' ground water resources.	<u>Consistent.</u> The proposed project shall maintain safe and adequate infrastructure services for domestic water service, sanitary sewer service, and storm drain service. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> ; <u>Section 5.11, Water</u> ; and <u>Section 5.12, Wastewater</u> , for discussion of impacts and mitigation measures related to infrastructure services.
Policy 2.1-7: Promote the use of reclaimed water for groundskeeping in parks, golf courses, recreation areas, commercial and industrial uses, and schools.	<u>Consistent.</u> The provision of reclaimed water and associated programs is the responsibility of the Sanitation Districts of Orange County. As available, the proposed project would incorporate reclaimed water distribution infrastructure for irrigation of on-site landscaping with drought-tolerant plants preferred.
Policy 2-2.1: Continue to provide and/or support alternative modes of transportation such as mass transit, dial-a-ride, rail systems, dedicated roadways, and conventional buses.	According to the <i>General Plan</i> , transit service is provided by the Orange County Transportation Authority (OCTA). Existing transit routes include Katella Avenue, Los Alamitos Boulevard, Bloomfield Avenue, and Cerritos Avenue. Buses are scheduled in 20 minute intervals during peak hours of the day. Fixed bus route 50 (Katella Avenue) services the immediate vicinity of the Medical Center campus with a bus stop located on Katella Avenue in front of MOB 3. Bus route 50 is available for visitors, patients, and employees. Other OCTA fixed routes in the vicinity of the project area include Route 42, which travels along Los Alamitos Boulevard just west of the project area, Route 46, which travels along Bloomfield Street and Cerritos Avenue just north of the project area, and Route 701, which travels along Katella Avenue and Los Alamitos Boulevard just west of the project area.
Policy 2-2.2: Encourage increased vehicle occupancy and car-pooling.	<u>Consistent.</u> As deemed necessary by the City, the project's proposed parking areas would provide facilities for high-occupancy vehicles. In addition, the Medical Center is currently in strong compliance with SCAQMD's Rule 2202, which requires that companies or agencies who employ 250 or more people provide a menu of options to reduce mobile source air emissions generated from employee commutes. Options include implementing or continuing with an Employee Commute Reduction Program (ECRP), Purchasing Emission Credits which is an Emission Reductions Strategy (ERS), and investing of one of the SCAQMD Air Quality Investment (AQIP) Programs. The Medical Center files under an ERS program, and also provides bike racks at each building, as well as \$25 monthly gift certificate drawings. 2010 numbers show exceedence of required Average Vehicle Reductions requirements.
Policy 2-2.3: Provide safe and efficient facilities for pedestrians and bicyclists, integrating these with the County-wide system.	<u>Consistent.</u> The proposed project would not alter existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways that allow pedestrian and cyclist mobility and access to the project site.
Policy 2-2.4: Improve traffic monitoring and metering systems.	<u>Consistent.</u> Kaylor Street would be reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street would extend south from Catalina Street and serve as a private road for ambulances to the new emergency room and access for employees and visitors. Kaylor Street would terminate in a cul-de-sac constructed to City and OCFA standards. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic.
Policy 2-2.5: Actively participate in regional and local governmental efforts to improve air quality.	<u>Consistent.</u> Although the proposed project would not exceed the growth projections used as the basis for the SCAQMD's most recent AQMP, the proposed project would implement all feasible mitigation measures to reduce air pollutant emissions, which would serve to

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	minimize conflicts with applicable policies, plans, and programs resulting from project implementation. Refer to <u>Section 5.4, Air Quality/Greenhouse Gas Emissions</u> , for a discussion of impacts and mitigation measures related to air quality policies, plans, and programs.
Policy 2-2.6: Maintain and improve traffic signal synchronization and provisions for constant traffic flow on all major arteries throughout the City and as extensions of other programs of neighboring cities.	<u>Consistent.</u> Mitigation measures are identified to eliminate the potentially significant traffic impacts at the Kaylor Street/Katella Avenue study intersection for forecast year 2013 and 2035 with project conditions as well as the Los Alamitos Boulevard/Cerritos Avenue study intersection for forecast year 2035 and to achieve acceptable corridor operations along Katella Avenue. Assuming implementation of the identified mitigation measures, adequate left-turn storage capacity on Katella Avenue is available at the study intersections for mitigated forecast year 2035 with project conditions. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic and refer to the <i>Los Alamitos Medical Center Specific Plan Traffic Impact Analysis</i> , Appendix D.
Policy 2-3.1: Encourage recycling and waste reduction in accordance with the Source Reduction and Recycling Nondisposal Facility, and Household Hazardous Waste Elements of the adopted Integrated Waste Management Plan.	<u>Consistent.</u> Solid waste disposal service for the Medical Center campus would be provided by Consolidated Waste Disposal. Future development within the project site would increase solid waste generation, placing greater demands on existing solid waste collection services and diminishing landfill capacities. Refer to <u>Section 5.13, Solid Waste</u> , for a discussion of impacts and mitigation measures related to Federal, State, and local statutes and regulations. The transport, use, storage, and disposal of hazardous wastes would be subject to all local, state, and federal regulations. Refer to <u>Section 5.7, Hazards and Hazardous Materials</u> , for a discussion of impacts and mitigation measures related to hazardous materials.
Policy 2-5.1: Promote State energy conservation guidelines, which require the incorporation of energy-savings designs and features into new and refurbished buildings.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.
Policy 2-5.2: Encourage residents, businesses, and public employees to follow energy conservation practices designed to reduce energy consumption.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.
Policy 2-5.3: Consider purchasing energy-efficient and environmentally safe vehicles and machinery.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.
Policy 2-6.1: Retain and maintain the quality and health of existing landscape in the public open spaces (sidewalks, alleys, parks, civic and cultural facilities, and at schools).	<u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> Title 13, Public Services, Chapter 13.05, Water Efficient Landscaping and the <i>Los Alamitos Medical Center Specific Plan</i> . A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.
Policy 2-6.2: Encourage property owners to both maintain and promote landscaping on developed sites.	<u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos</i>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	<p><i>Medical Center Specific Plan.</i> A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>Policy 2-6.3: Encourage developers to incorporate mature and specimen trees and other significant vegetation, which may exist on a site into the design of a development project for that site.</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan.</i> A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>SAFETY ELEMENT</p>	
<p>Goal One: Protect residents and property from natural disasters, fire, and crime.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the City Police Department and Orange County Fire Authority (OCFA). The City's <i>Emergency Operations Plan (EOP)</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>; <u>Section 5.7, Hazards and Hazardous Materials</u>; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>; <u>Section 5.9, Fire Protection</u>; and <u>Section 5.10, Police Protection</u>; for a discussion of impacts and mitigation measures related to natural disasters, fire, and crime.</p>
<p>Policy 3-1.1: Take all necessary steps to be prepared for a major disaster.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the City Police Department, Fire Department, and OCFA. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos.</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	Refer to <u>Section 5.6, Geology and Seismic Hazards</u> ; <u>Section 5.7, Hazards and Hazardous Materials</u> ; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> ; <u>Section 5.9, Fire Protection</u> ; and <u>Section 5.10, Police Protection</u> ; for a discussion of impacts and mitigation measures related to natural disasters, fire, and crime.
Policy 3-2.1: Take all necessary steps to be prepared for a major earthquake.	<u>Consistent.</u> The project site is located in tectonically active Southern California. However, the project site is not located on an Alquist-Priolo Earthquake Fault Zoning Map. The proposed project would meet or exceed all applicable seismic safety design standards, subject to review and approval by the City of Los Alamitos Building and Safety Division. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i> , the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.6, Geology and Seismic Hazards</u> , and <u>Section 5.7, Hazards and Hazardous Materials</u> , for a discussion of impacts and mitigation measures related to natural disasters.
Policy 3-3.1: Take appropriate steps to protect new and existing development from flooding.	<u>Consistent.</u> Flood hazards related to storm events generally are described in terms of the "100-year flood." As its name implies, the 100-year flood is the largest flood event, which may be expected to occur within a 100-year period. This flood is considered a severe flood but one that can be reasonably predicted and therefore reasonably mitigated. According to the <i>General Plan</i> , the project site is not located in a flood zone. Additionally, the project does not propose any residential uses. However, according to the <i>County of Orange General Plan</i> , the Santa Ana River poses as a potential flood threat for the City. According to the <i>General Plan</i> , potential damage to the City from a failure of the Prado Dam on the Santa Ana River is no longer an issue due to recent dam upgrades. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i> , the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> for a discussion of impacts and mitigation measures related to flooding.
Policy 3-4.1: Maintain and expand programs that protect life and property from fire.	<u>Consistent.</u> The proposed project would incorporate all recommendations and requirements of the City Police Department and Orange County Fire Authority. Refer to <u>Section 5.9, Fire Protection</u> , and <u>Section 5.10, Police Protection</u> , for a discussion of impacts and mitigation related to fire hazards, fire protection services, and crime.
Policy 3-5.1: Continue to work closely with the Police Department and community groups to address crime problems and areas in the City.	<u>Consistent.</u> The proposed project would incorporate all recommendations and requirements of the City Police Department. Refer to <u>Section 5.10, Police Protection</u> , for a discussion of impacts and mitigation related to crime.

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
CIRCULATION AND TRANSPORTATION	
Goal One: Provide an efficient network of streets, bikeways, and pedestrian areas which promote the safe and efficient movement of people and goods.	<u>Consistent.</u> Kaylor Street will be vacated and reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street will extend south from Catalina Street and serve a private road for ambulances to the new emergency room and access for employees and visitors. Kaylor Street will terminate in a cul-de-sac constructed to City and OCFA standards. No improvements are anticipated to be required for Katella Avenue other than frontage improvements associated with the new driveway entry. The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic.
Goal Two: Provide adequate on-street parking and loading facilities for businesses and public facilities throughout the City.	<u>Consistent.</u> A total of 1,943 on-site parking spaces would be provided within the Specific Plan Area at buildout, configured in surface and structures parking areas, The total parking required at buildout is 1,934 spaces. Total parking spaces provided at buildout is 1,943 spaces, exceeding the requirement by 9 total spaces. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to parking and the proposed <i>Draft Los Alamitos Medical Center Specific Plan</i> .
Goal Three: Maintain safe and adequate infrastructure services.	<u>Consistent.</u> The project shall maintain safe and adequate infrastructure services for domestic water service, sanitary sewer service, and storm drain service. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> ; <u>Section 5.11, Water</u> ; <u>Section 5.12, Wastewater</u> ; and <u>Section 5.14, Electricity and Natural Gas</u> , for discussion of impacts and mitigation measures related to infrastructure services.
Policy 5-1.1: Maintain a Level of Service "D" or better on all City arterials and at intersections.	<u>Consistent.</u> Project implementation could increase vehicular movement in the vicinity of this project site during AM and PM peak hour periods. Forecast year 2013 with project phase 1 conditions AM & PM peak hour LOS would not result in a significant impact nor would forecast year 2035 with project conditions. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic and refer to the <i>Los Alamitos Medical Center Specific Plan Traffic Impact Analysis, Table 9 and 12, Appendix D</i> .
Policy 5-2.1: Protect and preserve residential neighborhoods from the intrusion of cut-through traffic.	<u>Consistent.</u> The proposed project would not create cut-through traffic. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic.
Policy 5-4.1: Encourage walking and bicycling as attractive alternatives to vehicular transportation.	<u>Consistent.</u> The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site.
Policy 5-4.2: Adequately illuminate and landscape City sidewalks and public areas to encourage pedestrian-oriented activities.	<u>Consistent.</u> Pedestrian scale lighting should be present at all entries, plazas, courtyards, parking lots, pedestrian ways, and other areas where nighttime pedestrian activity is expected. Refer to <i>Draft Los Alamitos Medical Center Specific Plan Section 5 Design Guidelines, Section D Landscaping, 3 Lighting Design</i> .
Policy 5-4.3: Support alternatives to single-occupancy vehicle use.	<u>Consistent.</u> The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site. Furthermore, as deemed necessary by the City, the project's proposed parking areas would provide facilities for high-occupancy vehicles.
Policy 5-5.1: Encourage owners of substantially	<u>Consistent.</u> Total parking required at buildout is 1,934 spaces. Total

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
remodeled commercial and industrial centers to provide adequate on-site parking.	parking spaces provided at buildout is 1,943 spaces, exceeding the requirement by 9 total spaces. Refer to the <i>Draft Los Alamitos Medical Center Specific Plan</i> .
Policy 5-5.2: Provide adequate on-site parking at civic facilities (parks, City Hall, Los Alamitos, Community Center, etc.).	<u>Consistent.</u> A total of 1,943 on-site parking spaces would be provided within the Specific Plan Area at buildout, configured in surface and structures parking areas. On-street parking is also present on the adjacent public streets. This on-street parking does not count towards meeting the parking needs for the site. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic.
Policy 5-7.1: Work with the Rossmoor-Los Alamitos Sewer District so that residents and businesses have adequate and efficient sewage waste disposal services.	<u>Consistent.</u> Sanitary sewer service is currently provided to Los Alamitos Medical Center campus by the Rossmoor/Los Alamitos Area Sewer District. Sewer treatment is provided by the Orange County Sanitation District treatment plant in Huntington Beach. Existing sewer lines ranging from eight to 30 inches are located in Cherry, Catalina, Kaylor, Kyle, Florista, and Bloomfield Streets, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet district requirements. Proposed new structures would connect with existing sewer lines via lateral connections to individual buildings. Additionally, subsurface storage tanks would be located within the campus (adjacent to Kaylor Street near new Hospital Building 1) to provide for emergency sewage capacity in the case of temporary sewer service interruption per State requirements for hospitals. Refer to <u>Section 5.12, Wastewater</u> , for discussion of impacts and mitigation measures related to wastewater services.
Policy 5-7.2: Work with the Southern California Water Company so that residents and businesses have quality drinking water and adequate water supply for fire protection and landscaping needs.	<u>Consistent.</u> Domestic water is provided to the Medical Center by the Golden State Water Company. Existing water lines ranging from six to eight inches are located in Catalina Street, Kaylor Street, Florista Street, Bloomfield Avenue, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet district requirements. It is anticipated that the proposed medical facilities within the Specific Plan Area would tie into existing pipes in adjacent streets. Proposed new buildings would be served by the existing water lines through a series of laterals. Additionally, subsurface water storage would be located within the campus (located adjacent to Kaylor Street near new Hospital Building 1) to provide for emergency water supply in the case of temporary water service interruption per State requirements for hospitals. Future development within the project site would increase the demand for water resources. All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and incorporate drought tolerant plants. The proposed project would incorporate all recommendations and requirements of the Golden State Water Company and Orange County Fire Authority. Refer to <u>Section 5.9, Fire Protection</u> , for a discussion of impacts and mitigation related to fire hazards and fire protection services. Refer to <u>Section 5.11, Water</u> , for a discussion of impacts and mitigation measures related to water supply and demand, and fire flow.
Policy 5-7.3: Work with the Los Angeles Flood Control District and Orange County Environmental Management Agency so that residents and businesses are adequately protected from flooding.	<u>Consistent.</u> According to the <i>General Plan</i> , the project site is not located in a flood zone; refer to <i>General Plan Figure 3-2, Flood Zone Map</i> , which was derived from FEMA Map, September 1989. Additionally, the project does not propose any residential uses. However, according to the <i>County of Orange General Plan</i> , the Santa Ana River poses as a potential flood threat for the City. According to the <i>General Plan</i> , potential damage to the City from a failure of the Prado Dam on the Santa Ana River is no longer an issue due to recent dam upgrades. The City's <i>EOP</i> addresses the jurisdictions planned

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	<p>response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Refer to <u>Section 5.7, Hazards and Hazardous Materials</u>, and <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>, for a discussion of impacts and mitigation measures related to flooding.</p>
<p>Policy 5.7-4: Work with safety agencies, such as the Orange County Fire Authority and the AFRC Fire Department, so that residents and businesses are adequately protected from fires and other natural disasters.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the Orange County Fire Authority. The City's <i>Emergency Operations Plan (EOP)</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>; <u>Section 5.7, Hazards and Hazardous Materials</u>; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>; and <u>Section 5.9, Fire Protection</u>, for a discussion of impacts and mitigation measures related to natural disasters and fire.</p>
NOISE ELEMENT	
<p>Goal One: Protect noise sensitive land uses, including residences, schools, hospitals, libraries, churches and convalescent homes from high noise levels from both existing and future noise sources.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. Existing and future noise levels have been evaluated in the project's acoustical analysis. Noise sources would be reduced, where appropriate, to protect sensitive receptors. Construction noise levels would be temporary and masked by intervening structures and traffic along adjacent streets. Furthermore, off-site buildings, streets, trees, and vegetation would serve as buffers between sensitive receptors. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and mitigation measures related to noise.</p>
<p>Policy 6-1.1: Noise mitigation measures for future development should comply with the standards included in the City of Los Alamitos Noise Element.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and Mitigation Measures NOI-1, NOI-2, and NOI-3.</p>
<p>Policy 6-2.1: Potential noise impacts due to stationary sources should be mitigated in the planning stage.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. The Central Plant is located approximately 386 feet northwest of the nearest sensitive receptors. Furthermore, the off-site buildings, Catalina Street, and street trees and vegetation would serve as a buffer between the project site and these residential uses. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and Mitigation Measure NOI-1 which states stationary noise sources shall be located as far from</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporated insulations barriers, or other measures to the extent feasible.
ECONOMIC DEVELOPMENT ELEMENT	
Goal One: Enhance the fiscal viability of Los Alamitos by promoting retention and expansion of existing revenue bases, and development of new City revenue sources.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The proposed project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant, and an additional 849 parking spaces. The proposed project would provide new jobs in the City, along with increased tax revenue.
Policy 7-1.2: Actively promote expansion and retention of existing businesses.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The existing medical center provides medical care to over 100,000 patients per year, with over 88-percent of admissions from within an eight-mile radius. The facility is a significant local employer and supports local services through utility, property, "first functional use" and sales taxes. With the changing trends in medical care and hospital design, an update of the hospital facilities is needed, to provide a modernized emergency room and reduced bed occupancy in hospital rooms, providing a higher percentage of low- or single-occupancy rooms. The proposed project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant, and an additional 849 parking spaces. The proposed expanded medical facilities would provide valuable medical services to the public and stimulate the local economy by providing jobs to residents in the City and expanded tax revenues.

- B. That the proposed General Plan Amendment will not adversely affect the public convenience, health, interest, safety, or welfare of the City as the project will be subject to the Mitigation Monitoring and Reporting Program which will impose measures and project requirements relating to construction activities including construction notice best management practices, air quality mitigation measures, traffic mitigation measures, storm water project requirements and other mitigation which will sufficiently ensure that the construction will not be detrimental to the public or general welfare of persons residing or working in the vicinity of the project. The Project will be operated in a manner that will not be detrimental to the public health safety and welfare. In fact the Specific Plan will accommodate changed and improved medical technologies which will enhance the LAMC's ability to provide high quality medical care to the community thereby improving the public health safety and welfare of the public. Medical technologies have changed and improved over the last several decades which has resulted in the need to change specific hospital uses from those that can be accommodated under the existing configuration of the Medical Center. These changes require modifications to the layout of the campus facilities and square footages required for the medical uses occurring and proposed on the campus. Therefore due to the improved medical technologies and capabilities that have been developed and have become available to the Medical Center as well as

enhanced building codes and regulations for hospitals, construction of the requested facilities, additional square footage, new patient care rooms and single occupancy rooms would provide the community with up to date medical technologies and state of the art structures to serve the community. In addition, the patient care areas will be within a cohesive core of inter-connected facilities that will improve the efficiency of patient transfers and emergency room services as well as convenience to doctors, staff, patients and visitors

- C. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and the city's environmental review procedures. In compliance with Section 15063 of the CEQA Guidelines, and local guidelines, an Environmental Impact Report has been prepared for this project with the purpose of identifying the Project's significant effects on the environment, to identify alternatives to the project and to indicate the manner in which those significant effects can be mitigated or avoided Pursuant to Section 261081 of the California Public Resources Code. The Planning Commission has determined that although the project may have unavoidable significant effect on greenhouse gases, there are specific overriding benefits including economic and social benefits of the project which outweigh the significant effects on the environment as outlined in a Statement of Overriding Consideration

NOW, THEREFORE BE IT RESOLVED the Los Alamitos City Council finds as follows:

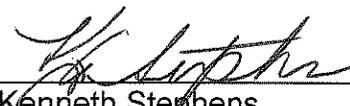
SECTION 1. The City Council of the City of Los Alamitos, California finds that the above recitals are true and correct and are incorporated by reference herein.

SECTION 2. The City Council hereby approves General Plan Amendment 09-01 to change the Los Alamitos General Plan land use designation from Community and Institutional, Planned Industrial and Professional Office to Specific Plan Land Use Designation subject to conditions attached hereto as Exhibit 1 and incorporated by reference as if fully set out herein.

SECTION 3. The Los Alamitos Planning Commission further recommends to the City Council that the General Plan Land Use Map be revised to reflect the change in land use designations in accordance with General Plan Amendment 09-01.

SECTION 4. The City Clerk shall certify as to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED this 7th day of February, 2011.



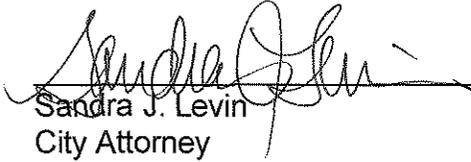
Kenneth Stephens
Mayor

ATTEST:

A handwritten signature in cursive script, appearing to read "Adria M. Jimenez, CMC", written over a horizontal line.

Adria M. Jimenez, CMC
City Clerk

APPROVED AS TO FORM:

A handwritten signature in cursive script, appearing to read "Sandra J. Levin", written over a horizontal line.

Sandra J. Levin
City Attorney

**LOS ALAMITOS MEDICAL CENTER
CONDITIONS OF APPROVAL**

- A. Applicant shall include a digitized 3D model of each proposed structure as part of the Planning Commissions submittal for site plan review.
- B. Los Alamitos Medical Center shall bring the accounting balance for all work completed for the Medical Center EIR, including legal, engineering, and traffic to a \$0 balance prior to Second Reading.
- C. Certificate of Occupancy/Completion shall be issued by the Chief Building Official on the Parking Structure. Such certification shall be issued prior to issuance of Permanent Certificate of Occupancy (C of O) or any business licenses on the proposed Medical Office Building.
- D. Should applicant fail to submit a complete application for Site Plan Review of Phase III by the tenth (10) anniversary of effective date of Ordinance, the approvals for all structures for which no Site Plan Review has been submitted shall be null and void.
- E. The Los Alamitos Medical Center shall permit the City of Los Alamitos to sublease roof top portions of the Hospital's Patient Care, Medical Office Building and Parking Structure for purpose of exclusively generating revenue to the City of Los Alamitos related to Telecommunication Antennas. This will include lease areas required to service various antenna. Any such use must maintain the integrity of an OSHPD building. Use shall not interfere with rooftop equipment and future leases shall indemnify building owner and will not invalidate roof warranty.
- F. Prior to the issuance of any building permit (demolition, construction, or utility related – but *excluding* grading), the applicant shall solely fund an independent peer review of any and all hydrology studies as required by the Mitigation Measures for each development phase to confirm conditions outlined in previously completed hydrology studies and as required by the RWQCB at the time of that development phase. The purpose of the peer review is to provide long-term assurance that the applicant shall detain and retain on site any storm water and runoff historically generated from the site (i.e., maintain status quo discharge levels with what was in place prior to project commencement) to the storm drain within Katella Avenue so as to eliminate the threat of an upstream overflow and flooding condition further east along Katella Avenue. The cities of Los Alamitos and Cypress shall jointly select the consultant for such studies. Such consultant shall be a licensed engineer within the State of California.
- G. The Los Alamitos Medical Center shall develop and maintain a list of preferred vendors of which to seek bids and services for construction related improvements. The City of Los Alamitos will assist the Medical Center in managing this list by supplying an annual list of business licenses.
- H. The Los Alamitos Medical shall modify the Specific Plan document to represent final approval of the City Council including timing limitations.

- I. The applicant guarantees that in the event the City receives less than \$40,000 in annual sales tax revenues attributable to the subject property in the first five years beginning after the Certificate of Occupancy is issued to the applicant, the applicant will make annual payments to the City to cover such deficiency.

PLANNING

1. The applicant shall indemnify protect defend and hold harmless the City of Los Alamitos, its officials, officers, employees, agents, departments, and instrumentalities thereof, from any an all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative, or adjudicatory in nature) and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City and/or any of its officials, officers, employees, agents, departments, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void or annul any approval of the City, its legislative body, advisory agencies or administrative officers, employees, agents, departments, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of Civil Procedure Section 1085 or 1094.5 or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City Attorney. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent, but should it do so, the City shall waive the indemnification herein, except the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
2. Approval of this Specific Plan is for the 25 year build out of the Los Alamitos Medical Center, as shown within the LAMC Specific Plan as part of this approval, with such additions, revisions, changes or modifications as required by the Planning Commission and City Council pursuant to approval noted thereon, and on file in the Community Development Department. Subsequent submittals for this project shall be consistent with the adopted Specific Plan and all subsequent conditions imposed by City Council.
3. The applicant shall be responsible for implementing the mitigation measures identified in the Mitigation and Monitoring Program, to the satisfaction of the City of Los Alamitos Community Development Director.
4. Applicant and all subsequent permit issues related to the Specific Plan shall be subject to the Mitigation Monitoring and Reporting Program, attached as an exhibit to the resolution for the Final Environmental Impact Report.

5. Wherever there appears to be a conflict between the Los Alamitos Medical Center Specific Plan and The City's Zoning Ordinance, this Specific Plan, including mitigation measures and conditions shall prevail. For development standards not covered by the Specific Plan, the City's Zoning Ordinance shall be used as a guideline.
6. The property applicant shall file an Acknowledgment of Conditions of Approval with the Community Development Department within 60 days of final approval of this ordinance. The property applicant shall be required to record the Acknowledgment of these Conditions of Approval with the Office of the Orange County Recorder and proof of such recordation shall be submitted to the Community Development Department.
7. The Los Alamitos Medical Center Specific Plan is approved exclusively as a precise plan for the location and design as shown on the relevant drawings referenced in the Specific Plan including Mitigation Measures and Conditions. Procedures for minor modifications and amendments to the Specific Plan are included in Section 6 of the document. If any changes are proposed, a request for a determination of substantial conformance must be submitted to the Community Development Director. If the Community Development Director determines that such proposed change or changes are not material, consistent with the provisions and spirit and intent of this approval action, and that such action would have been the same with the proposed change or changes as for the proposal approved herein, a minor modification t may be approved by the Community Development Director without requiring a public meeting as outlined in Section 6 of the Specific Plan.
8. The applicant, and the applicant's successors in interest, shall be fully responsible for knowing and complying with all conditions of approval. California Government Section 66020(d)(1) requires that the project applicant be notified of all fees, dedications, reservations and other exactions imposed on the development for purposes of defraying all or a portion of the cost of public facilities related to development. Fees for regulatory approvals, including planning processing fees, building permit fees are not included under this noticing requirement.
 - i. Pursuant to Government Code Section 66020(d)(1), the applicant is hereby notified that fees, dedications, reservations and other exactions imposed upon the development, which are subject to notification, are as follows:

- ii. Fees: Applicant shall pay an estimated total of \$702,777.00 in Traffic Impact Fees paid at the time of building permit issuance or OSHPD permit issuance as applicable for each building calculated at rate applicable at time of payment. City Resolution No. 1469 (adopted on June 14, 1993), established the City's current traffic impact fees. The fees were calculated based on the Seven-Year CIP established at that time. Per Resolution 1469, traffic impact fees are identified for four distinct types of land use; residential, commercial, office, and industrial. Increased square footage in the project was grouped by land use category and multiplied by the applicable traffic fee for a total of \$702,777.00 (\$49,347.00 for office uses and \$653,430.00 for commercial uses). The formula for calculation also takes into account the increase in traffic operations as included in the project traffic impact study.
 - iii. Dedications: n/a
 - iv. Reservations: Kaylor Utility Easements
 - v. Other Exactions: n/a
 - vi. The applicant may appeal the imposition or amount of the fees described above within ninety (90) days following the adoption of this resolution and pursuant to the procedures set forth in the Government Code.
9. The applicant, and applicant's successors in interest, shall be responsible for payment of all applicable fees.
10. Applicant shall supply four additional parking spaces upon the completion of Phase 1. Applicant shall supply 28 additional parking spaces at the full build out of the plan to meet the City's minimum requirements for parking. The 28 additional parking spaces are based upon application of a parking requirement for the Central Plant. At the time of site plan review for Phase 3, the applicant may submit a request for elimination of the additional parking requirement based upon floor plans for the central plant which demonstrate that no office uses are included in the building.
11. The pedestrian walkway within the rear parking lot shall be paved with an enhanced pavement to delineate the space as a walkway and a no-parking zone.
12. The applicant in conjunction with the Department of Public Works shall install signage along the public right-of-way on surrounding streets directing vehicles to the hospital parking lots. Site plans submitted for each phase shall include details and location of such signage.
13. During construction a ridesharing program implemented at the LAMC will continue to operate under the proposed Specific Plan and provide large parking spaces to accommodate vans used for ride sharing. This includes distribution of material to employees that provides information about public transit services and alternative transportation opportunities designation of a certain percentage of

parking spaces for occupancy vehicles provision of larger parking spaces to accommodate vans used for ride sharing and designation of adequate passenger loading and unloading and waiting areas.

14. During construction of all phases of the proposed project temporary signage shall be placed in appropriate locations to direct pedestrians to safe walking routes through the medical campus. Type and locations of such signage shall be included within the required Construction Management Plan for each phase.
15. During construction of all phases of construction LAMC shall provide temporary moveable pedestrian pathway between inaccessible areas. This pathway shall be fenced to ensure safety for pedestrians. The Construction Management Plan prepared for each phase shall include this provision.
16. In case of violation of any of the conditions of approval, mitigation measures, or City law, the property owner and tenant will be issued a Notice of Correction. If said violation is not remedied within a seasonable period of time and/or subsequent violations of the conditions of approval and/or City law occurs within ninety days of any Notice of Correction, the property owner shall be held responsible to reimburse the City for all staff time directly attributable to enforcement of the conditions of approval, mitigation measures, and/or City law including but not limited to, revocation of the herein approvals.
17. The property owner shall remove any graffiti on the project site within 12 hours of discovery. The paint utilized to cover the graffiti must substantially match the existing structure. In the event that the paint finish of the abated area is noticeably distinguishable from the rest of the structure, the property owner shall paint additional portions of the building to minimize the disparity subject to the approval of the Community Development Director.
18. To properly buffer surrounding industrial properties – dense, fast growing or mature trees shall be planted prior to occupancy of Hospital Building 2. Areas at the campus perimeter boundaries that abut privately owned properties shall include permanent screening such as berming shrub hedge or wall. Such landscaping shall be shown on the landscape plan component of the Site Plan submittal for each phase as appropriate.
19. All fences and walls within public view from within or outside the LAMC shall be designed to be visually compatible with other site improvements. LAMC shall include wall and fence plans as part of the Site Plan submittal package for the entitlement of each phase of the Specific Plan project.
20. All sides of any cooling and mechanical buildings surface parking areas and parking structures as well as other service and mechanical areas shall be designed, treated and finished in a manner compatible with the surrounding campus pursuant to the design guidelines of the Specific Plan. All service maintenance cooling mechanical and trash collection areas within the Specific Plan area shall be fully screened from public view.

21. If roof mounted, all mechanical equipment shall be set back from the roof edge and either contained within a penthouse or otherwise screened from view in a manner that is architecturally consistent with the rest of the building to the satisfaction of the Community Development Director.
22. All trash areas must meet the following Structural or Treatment Control BMP requirements. Trash areas must have drainage from adjoining roofs and pavement diverted around the area. Trash containers areas must be screened or walled to prevent offsite transport of trash provide Proof of Ongoing BMP Maintenance. LAMC will be required to implement and maintain Structural or Treatment Control BMP's in project plans. LAMC shall provide verification of maintenance provisions to the City of Los Alamitos on an annual basis and shall conduct regular inspections of its treatment BMPs. All trash storage loading service maintenance and mechanical equipment areas in public view from within or outside the medical campus shall be screened by a solid masonry fence or wall of minimum height 6 feet subject to the satisfaction of the Community Development Director.
23. The trash enclosure must be included on construction plans submitted for building permit and are subject to review and approval of Community Development Director. The trash enclosure must be covered.
24. A landscape plan indicating plant types and sizes shall be submitted to the Community Development Department as part of the required Site Plan submittal for each phase prior to issuance of building permits. The landscape plan shall include an automatic irrigation system and shall be prepared by a licensed Landscape Architect. All landscaping material shall be maintained in a neat and orderly manner and shall comply with the City's Water Conservation Ordinance.
25. The parking structure shall be constructed with screening walls of sufficient height to block spill light from vehicle headlights.
26. Waste management and material pollution BMPs for control of pollutants associated with the storage of construction materials and construction activities may include the following:
 - a. Materials will be stored either off site or under cover. Hazardous materials will be stored in contained areas
 - b. Selection of less environmentally detrimental materials will be used where feasible and practical.
 - c. Stockpiles will be minimized and covered to prevent leaching of potential chemicals and sediment.
 - d. Spill Prevention and Control will be implemented to prevent contamination of soil or water with construction and equipment operations chemicals.

- e. Hazardous chemicals used in construction will be disposed of in accordance with hazardous waste materials management regulations.
- f. Contaminated Soil Management- Soil found to exhibit signs of pre-existing contamination will be tested and disposed of as required based on level of contamination. No contaminated soil will be brought on site and used as fill material

ENGINEERING

- 27. All required Engineering plans and studies shall be prepared by a Registered Professional Engineer or applicable utility provider, and submitted to City Engineer for review and approval.
- 28. Prior to the start of work, the applicant shall obtain a City approval for all work in the public right-of-way. All work shall be done in accordance with Orange County Public Works Department Standards, and/or otherwise specified, to the satisfaction of the City Engineer and completed prior to issuance of the certificate of occupancy.
- 29. Approval of this project shall be subject to the requirements of (and all improvements shall be constructed in accordance with) the Los Alamitos Municipal Code, the Orange County Public Works Department Standard Specifications and Standard Plans.
- 30. The applicant shall submit for review and approval from the City Engineer from the applicable service providers for sewer and water, the following reports.
 - a. A Master Utilities Plan, supported by calculations, that includes the specifics on sewer, water, drainage and storm drain that will serve the entire project.
 - b. The Master Utility Plan shall include a preliminary drainage study of the project including diversions, off-site areas that drain onto and/or through the development, and justification of any diversions and how the map grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood. Master plan shall also provide evidence to the City Engineer that the grading and development produces no overloading of downstream systems, grading a development shall balance tributary drainage areas to reflect existing conditions and prove, with an appropriate hydrological and hydraulic study, that downstream systems will not be overburdened, and that hazardous conditions are non-existent. The calculations shall include a drainage basin map showing basin limits and area in acres, hydrology and system hydraulic calculations, pipe size calculations, inlet capacity calculations, and other information necessary to support the proposed design. Storm drains will be sized to carry the flows generated by the design storm per County of Orange Standards. The storm drain system design calculations shall show that the pipes have a self-cleaning minimum velocity of three feet

- (3') per second when flowing half full (Design Manual Concrete Pipe, Page 7 and Caltrans Highway Design Manual, Page 830-15). Hydrologic and hydraulic calculations demonstrating adequate site drainage from a 10-year return frequency storm (25-year frequency in sump areas) prepared by a Registered Civil Engineer shall be submitted with the Grading Plan. City Engineer is authorized to use 2010 EIR hydraulic study if applicable.
- c. Master Utilities Plan shall address the need if any for upsizing of existing sewer and water utilities necessary to provide service to the development.
 - d. A geotechnical report for the review and approval of the Director of Community Development and City Engineer. The report shall include the information and be in a form as required by the Grading Ordinance. The report shall include a section on soils analysis verifying that on-site soils are suitable for the proposed development. These studies shall include assessment of potential soil-related constraints and hazards such as slope instability, settlement, liquefaction, and related seismic impacts. The studies shall include specific mitigation measures, addressing all identified geotechnical constraints, in accordance with the Uniform Building Code and relevant city grading and subdivision ordinances. Proof of completion of any required remediation shall be provided prior to completion of the grading and acceptance of the grading improvements. The applicant shall comply with all requirements of the Rossmoor/Los Alamitos Area Sewer District for sewer connections and sewer improvements and Golden State Water District for connections and water improvements.
 - e. A Stormwater Pollution Prevention Plan. All recommendations shall including Best Management Practices (BMPs) shall be implemented to the maximum extent possible. Evidence that proper clearances have been obtained through the State Water Resources Control Board (SWRCB), including coverage under the NPDES statewide General Storm Water Permit for construction activities, shall be given to the City prior to issuance of any grading permits. On-site drainage shall be in compliance with the National Pollutant Discharge Elimination system (NPDES) guidelines to the satisfaction of the City Engineer. The applicant shall be responsible for filing a Notice of Intent and for filing the appropriate fees pursuant to the National Pollution Discharge Elimination System (NPDES) program.
31. The Applicant is responsible for all coordination with utility companies and the design of all utility service installations that are required to serve the project, including utility layout, design and costs associated with any necessary facilities upgrades, revisions, relocations and/or extensions. The Applicant shall relocate or underground any overhead utilities that conflict with the new improvements.
 32. The applicant shall produce evidence acceptable to City of Los Alamitos, that:
 - a. All construction vehicles or equipment fixed or mobile, operated within 1,000 feet of dwelling shall be equipped with properly operating and maintained mufflers.

- b. All operations shall comply with Division 6 (Noise Control) of the Codified Ordinances of the County of Orange as adopted by the City of Los Alamitos.
- c. Stockpiling and/or vehicle staging areas shall be located as far as practicable from neighboring property owners.
- d. The construction disturbance "footprint" shall be kept as small as possible.
- e. Truck idling shall be prohibited for periods of longer than 10 minutes.
- f. Off site hauling operations shall be prohibited during rush hours unless approved by the City.
- g. Staging areas shall be placed as far as practical from sensitive receptors.
- h. Construction equipment shall be maintained in peak operating conditions to reduce emissions.

Notations in the above format, appropriately numbered and include with other notations on the front sheet of grading plans, will be considered as adequate evidence of compliance with this condition.

33. If applicable, as determined by the City Engineer for off-site hauling of export or import, prior to the issuance of the grading permit, the applicant shall prepare a traffic control plan for approval by the City Engineer. The traffic control plan shall address, to the City's satisfaction, the following issues (at a minimum):
- a. A haul routing plan that identifies routes to be used.
 - b. The destination of the export earth materials.
 - c. The types of haul vehicles to be used (including load capacity and total weight).
 - d. Days and hours of hauling operation.
 - e. The placement of truck entry points, and the placement of truck exit points with all-weather access improvements.
 - f. A plan specifying the traffic safety measures proposed to minimize conflicts with non-project traffic including the number and placement of flag persons, the number and placement of temporary signals and signs, limitations on turning movements, and any other methods determined necessary by the City of assure safe traffic flow.
 - g. That the all weather surface access road be monitored, maintained and repaired for the full period the project. At each truck exit point the applicant (or contractor) shall provide an all-weather access comprised of no less than 300-feet of decomposed granite. All trucks will be required to pass over the entire length of the all weather access prior to exiting the site.

The all-weather access shall be addressed as an element of the Traffic Control Plan.

34. Each grading permit shall include evidence that the applicant will comply with all relevant South Coast Air Quality Management District (SCAQMD) regulations, including Rule 402 (requiring that offsite dust be controlled to avoid nuisance impacts) and Rule 403 (restricting construction emissions). Included among Rule 403 requirements are the following:
 - a. Moisten soil prior to grading.
 - b. Water exposed surfaces at least twice daily, with more frequent watering when winds exceed 25 miles per hour (mph).
 - c. Use a soil conditioner on exposed earth to minimize erosion potential.
 - d. Wash mud-covered tires and undercarriages of trucks leaving the construction site.
 - e. Provide street sweeping as needed to remove dirt from public roadways adjacent to the construction area.
 - f. Suspend grading operations when winds exceed 25 mph.
 - g. Provide permanent sealing of all graded areas as soon as practical after grading.
35. The applicant shall be required to repair and/or replace any damaged public improvements fronting the project resulting from project construction.
36. Prior to the issuance of the first grading permit, the applicant shall submit a construction phase erosion and sediment control plan reviewed and approved by the City Engineer.
37. The following items related to public street frontage shall be installed by the Applicant and shown on the improvement plans or completed prior to approval of the plans:
 - a. All existing curb return pedestrian ramps that do not meet ADA standards shall be removed and replaced with ramps conforming to the current ADA and City Public Works Standards.
 - b. The improvement plans shall include a Public Street Repair Plan (showing the repair details and limits of repair) for all improvement installations that will result in the cutting, demolition, destruction, etc. of any existing improvements within the public right of way including but not limited to the installation of curb, gutter, sidewalk, utilities (water, sewer, storm drain, electrical, cable TV, telephone, etc.). This plan shall be updated during the construction process as necessary to reflect any unanticipated street repairs. Associated with said plan are the following requirements:

41. In accordance with the NPDES Construction General Permit the Applicant shall incorporate water quality Best Management Practices (BMP's) into the project construction process. The improvement plans shall include an erosion control plan and a list of BMP's and construction notes that will be incorporated into the construction process as water quality measures as follows:
 - a. The contractor shall manage the construction activities; and handle, store and dispose of all hazardous and non-hazardous waste in a manner that eliminates or minimizes (to the maximum extent practicable) the discharge of pollutants (e.g. motor oil, fuels, paints/stains and solvents, asphalt products, concrete, herbicides and pesticides, etc.) to the storm drains, ground water, and/or waterways.
 - b. The contractor shall incorporate spill prevention and cleanup measures into the construction operation. All discarded materials shall be removed from the site and disposed of at an approved disposal facility. The contractor shall incorporate protected and designated equipment cleanup and fueling areas into the construction operation.
 - c. The project property owner shall pay all cleanup, testing, disposal and City administrative costs associated with the discharge of pollutants into the storm drains and/or waterways as a result of the project construction activity.
 - d. The project Storm Water Pollution Prevention Plan is to be available at the construction site. The contractor and project property owner are responsible for insuring that all individuals involved in the construction process have access to the SWPPP and are educated in the plan content details and their particular responsibilities within the plan.

42. Post Development measures (BEST MANAGEMENT PRACTICES (BMP'S)) into the project design to mitigate project impacts to water quality.
 - a. The post-construction BMP's shall be shown on the project improvement plans.
 - b. The Applicant shall prepare and submit a Stormwater Runoff Management Plan per "Post Construction Storm Water Pollution Prevention" standards.
 - c. The post construction BMP measures shall be installed by the Applicant and designed and sized by a registered civil engineer in accordance with the City's adopted PCSWPP Standards and an accepted design method such as that which is outlined in the "California Storm Water Association BMP (CSWA-BMP) Handbook". The design and calculations are to be reviewed and approved by the City Engineer.
 - d. The project post-construction BMP's shall include but not be limited to the applicable items listed in the City Council adopted PCSWPP Standards and Attachment 4 of the State General Permit.

43. The following items shall be shown on the improvement plans or completed prior to approval of the plans:
 - a. The improvement plans shall include a Joint Trench Plan.
 - b. The improvement plans shall include a Construction Traffic Control Plan.
 - c. The Applicant shall provide an accessible route of travel from the fronting sidewalk to the buildings. The site Development and grading shall be designed to provide access to all entrances and exterior ground floor exits, and access to normal paths of travel, and where necessary to provide access, shall incorporate pedestrian ramps, curb ramps, etc. The accessible route of travel shall be the most practical direct route between accessible building entrances, accessible site facilities and the accessible entrance to the site per CBC 1127B. All proposed accessible routes of travel shall be identified on the improvement plans.
 - d. For trenching within existing roadway areas, the Applicant's engineer shall ascertain the location of all underground utility systems and shall design any proposed subsurface utility extensions to avoid disrupting the services of such systems. This data shall be shown on the improvement plans.
 - e. The Applicant shall connect the project to the Los Alamitos Sanitation District for sanitary sewer service. Sewer services shall be shown on the improvement plans and shall be installed in accordance with County of Orange standards.
44. Prior to the issuance of each grading permit, whichever occurs first, the applicant shall in a manner meeting the approval of the Public Works Director/City engineer dedicate any and all easements necessary including easements for all utilities located in Kaylor Street to the City of Los Alamitos.
45. As part of Phase 2 improvements, Applicant shall replace the intersection of Kaylor Street and Katella Avenue and the intersection of Kaylor Street and Catalina Street with a commercial drive approach per Orange County PF & RD Standard Plans. Vacation of the street shall be in accordance with the procedures set forth under the California Streets and Highways Code.
46. Applicant shall close any not utilized existing drive approaches along the entire frontage of the project by constructing full height curb and gutter per APWA Standard Plans.
47. Prior to issuance of any permit related to the Courtyard or Patient Care/Hospital Building 1, applicant shall satisfy all requirement of the City Engineer related to the vacation of Kaylor.
48. Prior to issuance of a building permit for the project the Applicant shall submit documentation to the City Engineer for review and approval that indicates that the following items have been addressed:
 - a. All required improvements shall be completed by the Applicant prior to occupancy and establishment of the use. To guarantee completion of the improvements, the Applicant shall enter into an agreement with the City

and provide a security acceptable to the city prior to issuance of any building permit. An agreement will not be required if the Applicant completes all of the required improvements to the satisfaction of the City Engineer prior to issuance of the building permit.

- b. The Applicant shall furnish proof satisfactory in form to the City Attorney of the acquisition of all rights of entry, permits, easements, etc., necessary to construct the project or to satisfy required project mitigation measures and/or conditions prior to issuance of a building permit for the applicable building.
 - c. The property owner shall enter into a long term maintenance agreement with the City of Los Alamitos approved both as to form and substance by the City Attorney and City Engineer for long term maintenance, financing and monitoring for the post construction storm water best management practices that are incorporated as part of the project.
 - i. The agreement shall include a detailed outline of responsible parties, inspections, maintenance procedures, monitoring documentation and annual reporting to the City Public Works Department, and procedures for administration and oversight.
 - ii. The agreement shall be recorded prior to issuance of the building permit. The agreement must provide for the perpetual maintenance and replacement of the improvement as well as appropriate provisions relating to enforcement options, the right of the City to access the property to perform work, the right of the City to recover its costs, indemnification and enforcement provisions, as well as any other provisions deemed necessary or convenient to accomplish the City's objectives. The City of Los Alamitos shall either be a signatory to the agreement or a third party beneficiary to the agreement with the right but not the obligation to enforce the obligation and secure attorney's fees for legal counsel to enforce such obligations.
49. Prior to issuance of a certificate of occupancy for each structure the Applicant shall submit documentation to the Building Division for review and approval that indicates that the following items have been completed as reviewed and approved by the Development Engineering Division:
- a. All onsite and offsite improvements shall be installed prior to occupancy.
 - b. The improvements identified on the Public Street Repair Plan shall be completed.
 - c. Installation of street paving by the Applicant shall be completed and shall include reconstruction of the existing pavement section as required to provide adequate conforms. The limits of such reconstruction shall be reviewed by the Development Engineering Division and approved by the City Engineer as part of the construction plan review.

- d. The Applicant shall submit to the Development Engineering Division all improvement plans in digital auto-cad format, compatible with the City's current version, and tied to the City's coordinate system for all storm drain facilities, water lines, lot lines, sanitary sewer lines, sidewalks and streets. Auto-cad files shall be updated for as-built information and submitted to and approved as complete by the Development Engineering Division prior to occupancy.
50. Prior to occupancy all newly installed assemblies must be tested in accordance with local ordinances before they are put in service.
51. A bypass meter shall be supplied by and be the property of Golden State Water Company.

FIRE

52. In conjunction with the City's requirement for Site Plan Review, all building plans shall be submitted to OCFA for review.
53. Prior to the issuance of any building permits, the applicant shall submit a fire hydrant location plan to OCFA for review and approval.
54. Prior to the issuance of any certificate of occupancy, all fire hydrants shall have a blue reflective pavement marker indicating the hydrant location on the street as approved by the fire chief, and must be maintained in good condition by the property owner.
55. Prior to the issuance of any building permits, the applicant shall provide evidence of adequate fire flow. The "Orange County Fire Authority Water Availability for Fire Protection" form shall be signed by the applicable water district and submitted to the Fire Chief for approval.
56. Prior to the issuance of a building permit, the applicant shall submit plans for any required automatic fire sprinkler system in any structure to the Fire Chief for review and approval. Please contact the OCFA at (714) 573-6100 to request a copy of the "Orange County Fire Authority Notes for New NFPA 13 Commercial Sprinkler Systems."
57. Prior to the issuance of a certificate of occupancy, any required sprinkler system shall be operational in a manner meeting the approval of the Fire Chief.
58. Prior to the issuance of a building permit, plans for the fire alarm system (if over 100 sprinklers installed) shall be submitted to the Fire Chief for review and approval. Contact OCFA at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guidelines for New and Existing Fire Alarm Systems."
59. Any required fire alarm system shall be operational prior to the issuance of a certificate of occupancy.

60. Prior to the issuance of any building permits, the applicant shall obtain approval of the Fire Chief for all fire protection access roads to within 150 feet of all portions of the exterior of every structure on site. Please contact OCFA at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guidelines for Emergency Access."

ORDINANCE 11-01

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS ADOPTING ZONING ORDINANCE AMENDMENT 09-01 TO CHANGE THE ZONING DESIGNATIONS OF CERTAIN PARCELS FROM COMMUNITY FACILITIES (C-F), COMMERCIAL OFFICE (C-O) AND PLANNED LIGHT INDUSTRIAL (PM) TO LOS ALAMITOS MEDICAL CENTER SPECIFIC PLAN FOR THE CONSTRUCTION OF A PROPOSED THREE-PHASE MASTER PLANNED EXPANSION FOR THE LOS ALAMITOS MEDICAL CENTER WHICH INCLUDES THE PROVISION OF AN ADDITIONAL 164 HOSPITAL BEDS, TWO NEW HOSPITAL BUILDINGS, ONE NEW MEDICAL OFFICE BUILDING TO BE USED FOR ADDITIONAL OUTPATIENT AND ASSOCIATED MEDICAL USES, AND AN ADDITIONAL 849 PARKING SPACES FOR A PROJECT GENERALLY LOCATED AT AND AROUND 3751 KATELLA AVENUE

WHEREAS, the Los Alamitos Medical Center ("LAMC") has filed an application for a Specific Plan adoption (SP09-01), General Plan Amendment (GPA 09-01) to change the Land Use Designation from Community and Institutional, Planned Industrial and Professional Office to Specific Plan Land Use Designation, and Zoning Ordinance Amendment to change Zoning Designations from Community Facilities (C-F), Commercial Office (C-O) and Planned Light Industrial (PM) to Los Alamitos Medical Center Specific Plan, and Street Vacation No. 10-01 to vacate Kaylor Street for the construction of a proposed three-phase master planned expansion, including the provision of an additional 164 hospital beds, two new hospital buildings, one new medical office building to be used for additional outpatient and associated medical uses, and an additional 849 parking spaces (hereafter "Project"), for a project generally located at and around 3751 Katella Avenue (hereafter "subject property");

WHEREAS, some members of the public have expressed concern that this project could prevent future development in the area; and

WHEREAS, LAMC has offered to guarantee that, in the event that the City receives less than \$40,000 in annual revenues attributable to the subject property in the first five years beginning after the Certificate of Occupancy is issued for LAMC, LAMC will make annual payments to the City to cover such deficiency; and

WHEREAS the proposed change of zone is necessary for the adoption of the LAMC Specific Plan; and,

WHEREAS, a verified application has been filed to change the zoning designation for parcels APN 242-151-20, 242-152-20, 242-152-21, 242-162-13, 242-162-14, 242-163-11, 242-163-12, 242-163-13, 242-163-14; and,

WHEREAS, the application proposes to change the zoning designation for parcels 242-163-11, 242-163-13 and portion of 242-163-12 from Community Facilities (C-F) to Los Alamitos Medical Center Specific Plan; to change the zoning designation for parcels 242-152-21 portion of 242-162-13, portion of 242-163-12 from Commercial Office (C-O) to Los Alamitos Specific Plan; to change the zoning designation for parcels 242-151-20, 242-152-20, 242-162-14, 242-163-14, and portion of 242-162-13 from Planned Light Industrial (PM) to Los Alamitos Medical Center Specific Plan; and

WHEREAS, the verified application constitutes an application as required by Section 17.54 of the Los Alamitos Municipal Code; and,

WHEREAS the Planning Commission of the City of Los Alamitos at its regularly scheduled public meeting on October 11, 2010 and November 8, 2010 reviewed the requested Change of Zone and recommended City Council approval of Ordinance No. 11-01; and,

WHEREAS, a duly noticed public hearing as prescribed by law was held by the City Council on January 18, 2011 and continued to February 7, 2011 and based upon the evidence presented, the City Council makes the following findings of fact for Zone Ordinance Amendment 09-01 as required by Los Alamitos Municipal Code Section 17.70.050:

A. As specified in the table below, the proposed Zone Change will ensure and maintain internal consistency with the actions, goals, objectives, and policies of the General Plan, and would not create any inconsistencies with the Zoning Code set out in Title 17 of the Los Alamitos Municipal Code.

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
ND USE ELEMENT	
Goal 1: Preserve and promote land uses which reflect Los Alamitos' small-town character with due regard for economic development and future growth potential.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located within an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.
Goal 2: Preserve and enhance the quality of the City's residential neighborhoods.	<u>Consistent.</u> The proposed project would result in the expansion of the existing Los Alamitos Medical Center campus. No expansion beyond the existing property boundaries would occur with the proposed project. Thus, the proposed project would not adversely affect the quality of existing residential neighborhoods.
Goal 3: Promote and upgrade the quality of the City's commercial, industrial, and open space areas.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant, and an additional 849 parking spaces. The proposed project would upgrade the quality of the project site.
LAND USE ELEMENT	
Policy 1-1.1: Employ accepted planning and engineering standards and practices as the basis for determining the compatibility of new land uses with existing uses.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus and adoption of a Specific Plan to guide future development. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.
Policy 1-1.2: Adopt feasible mitigation measures throughout the land use decision-making process to reduce impacts of new or expanded uses on existing residential neighborhoods.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus and would not adversely impact existing residential neighborhoods and would be consistent with such existing development, subject to review and approval by the City. This EIR has identified a number of mitigation measures to reduce project-related impacts.

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
<p>Policy 1-1.3: Maintain consistency among General Plan Policies and Programs, the Zoning Ordinance, and related development regulations.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. Approval of the <i>Los Alamitos Medical Center Specific Plan</i> would be preceded by a General Plan Amendment that would create a new Specific Plan Land Use Designation over the entire Medical Center campus ("Specific Plan"). Furthermore, upon approval of the Specific Plan the Medical Center campus would be zoned "Specific Plan" with development standards and development parameters governed by this Specific Plan document. Project design standards and regulations would be subject to review and approval by the City.</p>
<p>Policy 1-1.4: Encourage commercial, office, and industrial uses which are compatible with surrounding residential neighborhoods.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.</p>
<p>Policy 1-3.1: Apply appropriate and consistent standards in land use and site plan approvals to achieve continuity and cohesion in the physical development of the City.</p>	<p><u>Consistent.</u> The project site is currently developed and occupied by the Los Alamitos Medical Center campus. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions. The proposed project would be visually consistent with on-site and adjoining uses, consistent with the City's Early California theme, and consist of similar mass, heights, and landscaping. Refer to <u>Section 5.2, Aesthetics</u>, for a discussion of aesthetic impacts and mitigation measures.</p>
<p>Policy 1-4.1: Consider the fiscal impacts to the City as an integral part of land use decision-making.</p>	<p><u>Consistent.</u> The proposed project includes medical service uses that would provide tax revenue to the City, while increased demands on public services and utilities from future on-site uses may require additional expenditures.</p>
<p>Policy 1.4-2: Base land use decisions on reasoned analysis incorporating technical standards for review included in the respective Elements of the General Plan.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. Approval of the <i>Los Alamitos Medical Center Specific Plan</i> would be preceded by a General Plan Amendment that would create a new Specific Plan Land Use Designations over the entire Medical Center campus ("Specific Plan"). Furthermore, upon approval of the Specific Plan the Medical Center campus would be zoned "Specific Plan" with development standards and development parameters governed by this Specific Plan document. Project design standards and regulations would be subject to review and approval by the City.</p>
<p>Policy 1-4.3: Consider General Plan Policies and Programs in making land use decisions.</p>	<p><u>Consistent.</u> This table provides a review of applicable <i>General Plan</i> policies and programs. The policies and programs have also been reviewed in the <i>Los Alamitos Medical Center Specific Plan</i>.</p>
<p>Policy 1-6.1: Develop and implement land use programs which address and promote the architectural and site design characteristics associated with small town character.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions. The proposed project would be visually consistent with on-site and adjoining uses, consistent with the City's Early California theme, and consist of similar mass, heights, and landscaping. Refer to <u>Section 5.2, Aesthetics</u>, for a discussion of aesthetic impacts and mitigation measures. Furthermore, the proposed project would be subject to design review and approval by the City to ensure consistency with the small town community character.</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
CONSERVATION ELEMENT	
<p>Goal One: Protect Los Alamitos' ground water resources from depletion and pollution.</p>	<p><u>Consistent.</u> Domestic water is provided to the existing Los Alamitos Medical Center campus by the Golden State Water Company. Existing water lines ranging from six to eight inches are located in Catalina Street, Kaylor Street, Florista Street, Bloomfield Avenue, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet Golden State Water Company requirements. It is anticipated that the proposed buildings within the Specific Plan Area would tie into existing pipes in adjacent streets. Proposed new buildings would be served by the existing water lines through a series of laterals. Additionally, subsurface water storage would be located within the campus (located adjacent to Kaylor Street near Hospital Building 1) to provide for emergency water supply in the case of temporary water service interruption per State requirements for hospitals. Future development within the project site would increase the demand for water resources. Refer to <u>Section 5.11, Water</u>, for a discussion of impacts and mitigation measures related to water supply and demand.</p> <p>Stormwater drainage in the City is mostly provided by a network of local drainage facilities. Site-specific drainage patterns could change due to project-related grading. According to Appendix F, <i>Final Hydrology Report</i>, the proposed project would not increase impervious surfaces. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>, for a discussion of impacts and mitigation measures related to ground water resources.</p>
<p>Goal Two: Improve air quality.</p>	<p><u>Consistent.</u> Although the proposed project would not exceed the growth projections used as the basis for the SCAQMD's most recent AQMP, the proposed project would implement all feasible mitigation measures to reduce air pollutant emissions, which would serve to minimize conflicts with applicable policies, plans, and programs resulting from project implementation. Refer to <u>Section 5.4, Air Quality/Greenhouse Gas Emissions</u>, for a discussion of impacts and mitigation measures related to air quality policies, plans, and programs.</p>
<p>Goal Three: Reduce Los Alamitos' solid waste stream.</p>	<p><u>Consistent.</u> Solid waste disposal service for the Medical Center campus would be provided by Consolidated Waste Disposal. Refer to <u>Section 5.13, Solid Waste</u>, for a discussion of impacts and mitigation measures related to solid waste federal, state, and local statutes and regulations.</p>
<p>Goal Five: Encourage the conservation of energy.</p>	<p><u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u>, for a discussion on impacts and mitigation measures related to energy.</p>
<p>Goal Six: Preserve and enhance the quality of the City's landscaped environment.</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Planning Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>Policy 2-1.1: Encourage the use of drought tolerant landscapes in new developments and encourage the</p>	<p><u>Consistent.</u> To the extent possible, the Los Alamitos Medical Center would continue to promote water conservation and reclamation (i.e.,</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
replacement of existing water consumptive landscapes.	landscaping with drought-tolerant plants and recycled water) to reduce water consumption. All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i> .
Policy 2-1.2: Encourage the conservation of water used for irrigation in parks, golf courses, recreation areas, commercial and industrial uses, and schools through the use of low-flow drip systems and water-efficient irrigation systems.	<u>Consistent.</u> Future development within the project site would increase the demand for water resources. All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and incorporate drought tolerant plants. The proposed project would incorporate all recommendations and requirements of the Golden State Water Company and Orange County Fire Authority. Refer to <u>Section 5.11, Water</u> , for a discussion of impacts and mitigation measures related to water supply and demand, and fire flow.
Policy 2-1.3: Comply with the policies and programs contained in the City's Water Conservation Ordinance.	<u>Consistent.</u> To the extent possible, the Los Alamitos Medical Center would continue to promote water conservation and reclamation (i.e., landscaping with drought-tolerant plants and recycled water) to reduce water consumption. The hospital would also comply with the policies and programs contained in the City's Water Conservation Ordinance. Refer to <u>Section 5.11, Water</u> , for a discussion on impacts and mitigation measures related to water.
Policy 2-1.4: Regulate commercial and industrial land uses to guard against the pollution of Los Alamitos' ground water resources.	<u>Consistent.</u> The proposed project shall maintain safe and adequate infrastructure services for domestic water service, sanitary sewer service, and storm drain service. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> ; <u>Section 5.11, Water</u> ; and <u>Section 5.12, Wastewater</u> , for discussion of impacts and mitigation measures related to infrastructure services.
Policy 2.1-7: Promote the use of reclaimed water for groundskeeping in parks, golf courses, recreation areas, commercial and industrial uses, and schools.	<u>Consistent.</u> The provision of reclaimed water and associated programs is the responsibility of the Sanitation Districts of Orange County. As available, the proposed project would incorporate reclaimed water distribution infrastructure for irrigation of on-site landscaping with drought-tolerant plants preferred.
Policy 2-2.1: Continue to provide and/or support alternative modes of transportation such as mass transit, dial-a-ride, rail systems, dedicated roadways, and conventional buses.	According to the <i>General Plan</i> , transit service is provided by the Orange County Transportation Authority (OCTA). Existing transit routes include Katella Avenue, Los Alamitos Boulevard, Bloomfield Avenue, and Cerritos Avenue. Buses are scheduled in 20 minute intervals during peak hours of the day. Fixed bus route 50 (Katella Avenue) services the immediate vicinity of the Medical Center campus with a bus stop located on Katella Avenue in front of MOB 3. Bus route 50 is available for visitors, patients, and employees. Other OCTA fixed routes in the vicinity of the project area include Route 42, which travels along Los Alamitos Boulevard just west of the project area, Route 46, which travels along Bloomfield Street and Cerritos Avenue just north of the project area, and Route 701, which travels along Katella Avenue and Los Alamitos Boulevard just west of the project area.
Policy 2-2.2: Encourage increased vehicle occupancy and car-pooling.	<u>Consistent.</u> As deemed necessary by the City, the project's proposed parking areas would provide facilities for high-occupancy vehicles. In addition, the Medical Center is currently in strong compliance with SCAQMD's Rule 2202, which requires that companies or agencies who employ 250 or more people provide a menu of options to reduce mobile source air emissions generated from employee commutes. Options include implementing or continuing with an Employee Commute Reduction Program (ECRP), Purchasing Emission Credits which is an Emission Reductions Strategy (ERS), and investing of one of the SCAQMD Air Quality Investment (AQIP) Programs. The Medical Center files under an ERS program, and also provides bike racks at each building, as well as \$25 monthly gift certificate drawings. 2010 numbers show exceedence of required Average Vehicle Reductions

Applicable <i>General Plan</i> implementing Goals and Policies	Consistency of Proposed Project
	requirements.
Policy 2-2.3: Provide safe and efficient facilities for pedestrians and bicyclists, integrating these with the County-wide system.	<u>Consistent.</u> The proposed project would not alter existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways that allow pedestrian and cyclist mobility and access to the project site.
Policy 2-2.4: Improve traffic monitoring and metering systems.	<u>Consistent.</u> Kaylor Street would be reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street would extend south from Catalina Street and serve as a private road for ambulances to the new emergency room and access for employees and visitors. Kaylor Street would terminate in a cul-de-sac constructed to City and OCFA standards. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic.
Policy 2-2.5: Actively participate in regional and local governmental efforts to improve air quality.	<u>Consistent.</u> Although the proposed project would not exceed the growth projections used as the basis for the SCAQMD's most recent AQMP, the proposed project would implement all feasible mitigation measures to reduce air pollutant emissions, which would serve to minimize conflicts with applicable policies, plans, and programs resulting from project implementation. Refer to <u>Section 5.4, Air Quality/Greenhouse Gas Emissions</u> , for a discussion of impacts and mitigation measures related to air quality policies, plans, and programs.
Policy 2-2.6: Maintain and improve traffic signal synchronization and provisions for constant traffic flow on all major arteries throughout the City and as extensions of other programs of neighboring cities.	<u>Consistent.</u> Mitigation measures are identified to eliminate the potentially significant traffic impacts at the Kaylor Street/Katella Avenue study intersection for forecast year 2013 and 2035 with project conditions as well as the Los Alamitos Boulevard/Cerritos Avenue study intersection for forecast year 2035 and to achieve acceptable corridor operations along Katella Avenue. Assuming implementation of the identified mitigation measures, adequate left-turn storage capacity on Katella Avenue is available at the study intersections for mitigated forecast year 2035 with project conditions. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic and refer to the <i>Los Alamitos Medical Center Specific Plan Traffic Impact Analysis</i> , Appendix D.
Policy 2-3.1: Encourage recycling and waste reduction in accordance with the Source Reduction and Recycling Nondisposal Facility, and Household Hazardous Waste Elements of the adopted Integrated Waste Management Plan.	<u>Consistent.</u> Solid waste disposal service for the Medical Center campus would be provided by Consolidated Waste Disposal. Future development within the project site would increase solid waste generation, placing greater demands on existing solid waste collection services and diminishing landfill capacities. Refer to <u>Section 5.13, Solid Waste</u> , for a discussion of impacts and mitigation measures related to Federal, State, and local statutes and regulations. The transport, use, storage, and disposal of hazardous wastes would be subject to all local, state, and federal regulations. Refer to <u>Section 5.7, Hazards and Hazardous Materials</u> , for a discussion of impacts and mitigation measures related to hazardous materials.
Policy 2-5.1: Promote State energy conservation guidelines, which require the incorporation of energy-savings designs and features into new and refurbished buildings.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.
Policy 2-5.2: Encourage residents, businesses, and public employees to follow energy conservation practices designed to reduce energy consumption.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.
Policy 2-5.3: Consider purchasing energy-efficient and environmentally safe vehicles and machinery.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	would meet all the State's standards for building energy efficiency. Refer to Section 5.14, Electricity and Natural Gas , for a discussion on impacts and mitigation measures related to energy.
<p>Policy 2-6.1: Retain and maintain the quality and health of existing landscape in the public open spaces (sidewalks, alleys, parks, civic and cultural facilities, and at schools).</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> Title 13, Public Services, Chapter 13.05, Water Efficient Landscaping and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>Policy 2-6.2: Encourage property owners to both maintain and promote landscaping on developed sites.</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>Policy 2-6.3: Encourage developers to incorporate mature and specimen trees and other significant vegetation, which may exist on a site into the design of a development project for that site.</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
SAFETY ELEMENT	
<p>Goal One: Protect residents and property from natural disasters, fire, and crime.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the City Police Department and Orange County Fire Authority (OCFA). The City's <i>Emergency Operations Plan (EOP)</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to Section 5.6, Geology and Seismic Hazards; Section 5.7, Hazards and Hazardous Materials; Section 5.8, Hydrology, Drainage, and Water Quality; Section 5.9, Fire Protection; and Section 5.10, Police Protection; for a discussion of impacts and mitigation measures related to natural disasters, fire, and crime.</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
<p>Policy 3-1.1: Take all necessary steps to be prepared for a major disaster.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the City Police Department, Fire Department, and OCFA. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>; <u>Section 5.7, Hazards and Hazardous Materials</u>; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>; <u>Section 5.9, Fire Protection</u>; and <u>Section 5.10, Police Protection</u>; for a discussion of impacts and mitigation measures related to natural disasters, fire, and crime.</p>
<p>Policy 3-2.1: Take all necessary steps to be prepared for a major earthquake.</p>	<p><u>Consistent.</u> The project site is located in tectonically active Southern California. However, the project site is not located on an Alquist-Priolo Earthquake Fault Zoning Map. The proposed project would meet or exceed all applicable seismic safety design standards, subject to review and approval by the City of Los Alamitos Building and Safety Division. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>, and <u>Section 5.7, Hazards and Hazardous Materials</u>, for a discussion of impacts and mitigation measures related to natural disasters.</p>
<p>Policy 3-3.1: Take appropriate steps to protect new and existing development from flooding.</p>	<p><u>Consistent.</u> Flood hazards related to storm events generally are described in terms of the "100-year flood." As its name implies, the 100-year flood is the largest flood event, which may be expected to occur within a 100-year period. This flood is considered a severe flood but one that can be reasonably predicted and therefore reasonably mitigated. According to the <i>General Plan</i>, the project site is not located in a flood zone. Additionally, the project does not propose any residential uses. However, according to the <i>County of Orange General Plan</i>, the Santa Ana River poses as a potential flood threat for the City. According to the <i>General Plan</i>, potential damage to the City from a failure of the Prado Dam on the Santa Ana River is no longer an issue due to recent dam upgrades. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to Section 5.8, Hydrology, Drainage, and Water Quality for a discussion of impacts and mitigation measures related to flooding.
Policy 3-4.1: Maintain and expand programs that protect life and property from fire.	<u>Consistent.</u> The proposed project would incorporate all recommendations and requirements of the City Police Department and Orange County Fire Authority. Refer to Section 5.9, Fire Protection , and Section 5.10, Police Protection , for a discussion of impacts and mitigation related to fire hazards, fire protection services, and crime.
Policy 3-5.1: Continue to work closely with the Police Department and community groups to address crime problems and areas in the City.	<u>Consistent.</u> The proposed project would incorporate all recommendations and requirements of the City Police Department. Refer to Section 5.10, Police Protection , for a discussion of impacts and mitigation related to crime.
CIRCULATION AND TRANSPORTATION	
Goal One: Provide an efficient network of streets, bikeways, and pedestrian areas which promote the safe and efficient movement of people and goods.	<u>Consistent.</u> Kaylor Street will be vacated and reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street will extend south from Catalina Street and serve a private road for ambulances to the new emergency room and access for employees and visitors. Kaylor Street will terminate in a cul-de-sac constructed to City and OCFA standards. No improvements are anticipated to be required for Katella Avenue other than frontage improvements associated with the new driveway entry. The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site. Refer to Section 5.3, Traffic , for a discussion of impacts and mitigation measures related to traffic.
Goal Two: Provide adequate on-street parking and loading facilities for businesses and public facilities throughout the City.	<u>Consistent.</u> A total of 1,943 on-site parking spaces would be provided within the Specific Plan Area at buildout, configured in surface and structures parking areas. The total parking required at buildout is 1,934 spaces. Total parking spaces provided at buildout is 1,943 spaces, exceeding the requirement by 9 total spaces. Refer to Section 5.3, Traffic , for a discussion of impacts and mitigation measures related to parking and the proposed <i>Draft Los Alamitos Medical Center Specific Plan</i> .
Goal Three: Maintain safe and adequate infrastructure services.	<u>Consistent.</u> The project shall maintain safe and adequate infrastructure services for domestic water service, sanitary sewer service, and storm drain service. Refer to Section 5.8, Hydrology, Drainage, and Water Quality ; Section 5.11, Water ; Section 5.12, Wastewater ; and Section 5.14, Electricity and Natural Gas , for discussion of impacts and mitigation measures related to infrastructure services.
Policy 5-1.1: Maintain a Level of Service "D" or better on all City arterials and at intersections.	<u>Consistent.</u> Project implementation could increase vehicular movement in the vicinity of this project site during AM and PM peak hour periods. Forecast year 2013 with project phase 1 conditions AM & PM peak hour LOS would not result in a significant impact nor would forecast year 2035 with project conditions. Refer to Section 5.3, Traffic , for a discussion of impacts and mitigation measures related to traffic and refer to the <i>Los Alamitos Medical Center Specific Plan Traffic Impact Analysis, Table 9 and 12, Appendix D</i> .
Policy 5-2.1: Protect and preserve residential neighborhoods from the intrusion of cut-through traffic.	<u>Consistent.</u> The proposed project would not create cut-through traffic. Refer to Section 5.3, Traffic , for a discussion of impacts and mitigation measures related to traffic.
Policy 5-4.1: Encourage walking and bicycling as attractive alternatives to vehicular transportation.	<u>Consistent.</u> The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	project site.
<p>Policy 5-4.2: Adequately illuminate and landscape City sidewalks and public areas to encourage pedestrian-oriented activities.</p>	<p><u>Consistent.</u> Pedestrian scale lighting should be present at all entries, plazas, courtyards, parking lots, pedestrian ways, and other areas where nighttime pedestrian activity is expected. Refer to <i>Draft Los Alamitos Medical Center Specific Plan</i> Section 5 Design Guidelines, Section D Landscaping, 3 Lighting Design.</p>
<p>Policy 5-4.3: Support alternatives to single-occupancy vehicle use.</p>	<p><u>Consistent.</u> The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site. Furthermore, as deemed necessary by the City, the project's proposed parking areas would provide facilities for high-occupancy vehicles.</p>
<p>Policy 5-5.1: Encourage owners of substantially remodeled commercial and industrial centers to provide adequate on-site parking.</p>	<p><u>Consistent.</u> Total parking required at buildout is 1,934 spaces. Total parking spaces provided at buildout is 1,943 spaces, exceeding the requirement by 9 total spaces. Refer to the <i>Draft Los Alamitos Medical Center Specific Plan</i>.</p>
<p>Policy 5-5.2: Provide adequate on-site parking at civic facilities (parks, City Hall, Los Alamitos, Community Center, etc.).</p>	<p><u>Consistent.</u> A total of 1,943 on-site parking spaces would be provided within the Specific Plan Area at buildout, configured in surface and structures parking areas. On-street parking is also present on the adjacent public streets. This on-street parking does not count towards meeting the parking needs for the site. Refer to <u>Section 5.3, Traffic</u>, for a discussion of impacts and mitigation measures related to traffic.</p>
<p>Policy 5-7.1: Work with the Rossmoor-Los Alamitos Sewer District so that residents and businesses have adequate and efficient sewage waste disposal services.</p>	<p><u>Consistent.</u> Sanitary sewer service is currently provided to Los Alamitos Medical Center campus by the Rossmoor/Los Alamitos Area Sewer District. Sewer treatment is provided by the Orange County Sanitation District treatment plant in Huntington Beach. Existing sewer lines ranging from eight to 30 inches are located in Cherry, Catalina, Kaylor, Kyle, Florista, and Bloomfield Streets, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet district requirements. Proposed new structures would connect with existing sewer lines via lateral connections to individual buildings. Additionally, subsurface storage tanks would be located within the campus (adjacent to Kaylor Street near new Hospital Building 1) to provide for emergency sewage capacity in the case of temporary sewer service interruption per State requirements for hospitals. Refer to <u>Section 5.12, Wastewater</u>, for discussion of impacts and mitigation measures related to wastewater services.</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
<p>Policy 5-7.2: Work with the Southern California Water Company so that residents and businesses have quality drinking water and adequate water supply for fire protection and landscaping needs.</p>	<p><u>Consistent.</u> Domestic water is provided to the Medical Center by the Golden State Water Company. Existing water lines ranging from six to eight inches are located in Catalina Street, Kaylor Street, Florista Street, Bloomfield Avenue, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet district requirements. It is anticipated that the proposed medical facilities within the Specific Plan Area would tie into existing pipes in adjacent streets. Proposed new buildings would be served by the existing water lines through a series of laterals. Additionally, subsurface water storage would be located within the campus (located adjacent to Kaylor Street near new Hospital Building 1) to provide for emergency water supply in the case of temporary water service interruption per State requirements for hospitals. Future development within the project site would increase the demand for water resources. All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and incorporate drought tolerant plants. The proposed project would incorporate all recommendations and requirements of the Golden State Water Company and Orange County Fire Authority. Refer to <u>Section 5.9, Fire Protection</u>, for a discussion of impacts and mitigation related to fire hazards and fire protection services. Refer to <u>Section 5.11, Water</u>, for a discussion of impacts and mitigation measures related to water supply and demand, and fire flow.</p>
<p>Policy 5-7.3: Work with the Los Angeles Flood Control District and Orange County Environmental Management Agency so that residents and businesses are adequately protected from flooding.</p>	<p><u>Consistent.</u> According to the <i>General Plan</i>, the project site is not located in a flood zone; refer to <i>General Plan</i> Figure 3-2, <u>Flood Zone Map</u>, which was derived from FEMA Map, September 1989. Additionally, the project does not propose any residential uses. However, according to the <i>County of Orange General Plan</i>, the Santa Ana River poses as a potential flood threat for the City. According to the <i>General Plan</i>, potential damage to the City from a failure of the Prado Dam on the Santa Ana River is no longer an issue due to recent dam upgrades. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Refer to <u>Section 5.7, Hazards and Hazardous Materials</u>, and <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>, for a discussion of impacts and mitigation measures related to flooding.</p>
<p>Policy 5.7-4: Work with safety agencies, such as the Orange County Fire Authority and the AFRC Fire Department, so that residents and businesses are adequately protected from fires and other natural disasters.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the Orange County Fire Authority. The City's <i>Emergency Operations Plan (EOP)</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>; <u>Section 5.7, Hazards and Hazardous Materials</u>; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>; and <u>Section 5.9, Fire Protection</u>, for a discussion of impacts and mitigation measures related to natural disasters and fire.</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
NOISE ELEMENT	
<p>Goal One: Protect noise sensitive land uses, including residences, schools, hospitals, libraries, churches and convalescent homes from high noise levels from both existing and future noise sources.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. Existing and future noise levels have been evaluated in the project's acoustical analysis. Noise sources would be reduced, where appropriate, to protect sensitive receptors. Construction noise levels would be temporary and masked by intervening structures and traffic along adjacent streets. Furthermore, off-site buildings, streets, trees, and vegetation would serve as buffers between sensitive receptors. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and mitigation measures related to noise.</p>
<p>Policy 6-1.1: Noise mitigation measures for future development should comply with the standards included in the City of Los Alamitos Noise Element.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and Mitigation Measures NOI-1, NOI-2, and NOI-3.</p>
<p>Policy 6-2.1: Potential noise impacts due to stationary sources should be mitigated in the planning stage.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. The Central Plant is located approximately 386 feet northwest of the nearest sensitive receptors. Furthermore, the off-site buildings, Catalina Street, and street trees and vegetation would serve as a buffer between the project site and these residential uses. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and Mitigation Measure NOI-1 which states stationary noise sources shall be located as far from adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporated insulations barriers, or other measures to the extent feasible.</p>
ECONOMIC DEVELOPMENT ELEMENT	
<p>Goal One: Enhance the fiscal viability of Los Alamitos by promoting retention and expansion of existing revenue bases, and development of new City revenue sources.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The proposed project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant, and an additional 849 parking spaces. The proposed project would provide new jobs in the City, along with increased tax revenue.</p>
<p>Policy 7-1.2: Actively promote expansion and retention of existing businesses.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The existing medical center provides medical care to over 100,000 patients per year, with over 88-percent of admissions from within an eight-mile radius. The facility is a significant local employer and supports local services through utility, property, "first functional use" and sales taxes. With the changing trends in medical care and hospital design, an update of the hospital facilities is needed, to provide a modernized emergency room and reduced bed occupancy in hospital rooms, providing a higher percentage of low- or single-occupancy rooms. The proposed project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant,</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	and an additional 849 parking spaces. The proposed expanded medical facilities would provide valuable medical services to the public and stimulate the local economy by providing jobs to residents in the City and expanded tax revenues.

B. That the proposed Zone Change will not adversely affect the public convenience, health, interest, safety, or welfare of the City. The project will be subject to the Mitigation Monitoring and Reporting Program, which will impose measures and project requirements relating to construction activities including construction notice best management practices, air quality mitigation measures, traffic mitigation measures, storm water project requirements and other mitigation which will sufficiently ensure that the construction will not be detrimental to the public or general welfare of persons residing or working in the vicinity of the project. The Project will be operated in a manner that will not be detrimental to the public health safety and welfare. In fact the Specific Plan will accommodate changed and improved medical technologies which will enhance LAMC's ability to provide high quality medical care to the community thereby improving the public health safety and welfare of the public. Medical technologies have changed and improved over the last several decades which has resulted in the need to change specific hospital uses from those that can be accommodated under the existing configuration of the Medical Center. These changes require modifications to the layout of the campus facilities and square footages required for the medical uses occurring and proposed on the campus. Therefore, due to the improved medical technologies and capabilities that have been developed and have become available to the Medical Center as well as enhanced building codes and regulations for hospitals, construction of the requested facilities, additional square footage, new patient care rooms and single occupancy rooms would provide the community with up to date medical technologies and state of the art structures to serve the community. In addition, the patient care areas will be within a cohesive core of inter-connected facilities that will improve the efficiency of patient transfers and emergency room services as well as convenience to doctors, staff, patients and visitors.

C. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act ("CEQA") and the city's environmental review procedures. In compliance with CEQA, Section 15063 of the CEQA Guidelines, and local guidelines, an Environmental Impact Report has been prepared for this project with the purpose of identifying the Project's significant effects on the environment, to identify alternatives to the project and to indicate the manner in which those significant effects can be mitigated or avoided. Pursuant to Section 21081 of the California Public Resources Code, the Planning Commission has determined that although the project may have unavoidable significant effect on greenhouse gases, there are specific overriding benefits, including economic and social benefits of the project, which outweigh the significant effects on the environment as outlined in a Statement of Overriding Consideration.

D. The 18.3 acres of property are physically suitable (including access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designation(s) and anticipated land use

development as it is currently used for medical related uses. The proposed development would be located within an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project. The development review process would ensure that the proposed project would be consistent with the applicable zoning standards and other standards set forth by the Specific Plan.

E. The proposed Zone Change is internally consistent with other applicable provisions of this zoning code. To ensure further consistency between the proposed Specific Plan and Title 17 (Zoning) of the City of Los Alamitos Municipal Code (hereinafter "LAZC"), the LAZC will be revised alongside the adoption of the Specific Plan. More specifically, the proposed Zone Change would establish the boundaries and replace the Specific Plan Area's existing zoning districts of Community Facilities (C-F), Commercial Office (C-O), and Planned Light Industrial (P-M) with the Los Alamitos Medical Center Specific Plan district. The Los Alamitos Medical Center Specific Plan would be both a regulatory and policy document that will be adopted by the City Council by ordinance. Additionally, the existing zoning district standards and regulations would be replaced with the Specific Plan's development standards and design standards/guidelines. Section 4 (Development Regulations) of the Specific Plan provides development regulations for all uses included within the Specific Plan. They are precise specifications for such things as allowable uses, temporary uses and special events, conditional uses, intensity, general development standards, height, setbacks, building separation, landscaping requirements, fencing, parking requirements, signage, and development standards modifications. Application of these regulations is specifically intended to provide for the orderly development of the site and effective fulfillment of the project objectives, while protecting the health, safety, and welfare of the employees and users, as well as those of the surrounding community. Section 5 (Design Guidelines) of the Specific Plan identifies design guidelines, which provides an overall vision for the redevelopment of the Los Alamitos Medical Center. The guidelines offer design guidance in the areas of architecture, landscape, and public spaces to ensure a certain level of aesthetic quality and functional efficiency, as well as compatibility between the project's components and surrounding community. The intent of the design guidelines is to encourage the highest level of design quality and creativity to ensure an atmosphere of wellness. The Introduction of the Specific Plan establishes the goal that the City would enforce, in order to implement the Specific Plan. The goals are intended to serve as a benchmark for the Specific Plan. During project review and analysis, the goals can be used to determine if future development proposals are supportive of the spirit and intent of the Specific Plan. The goals also provide the foundation for the Development Plan, Development Regulations, and the Design Guidelines.

THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA DOES ORDAIN AS FOLLOWS;

SECTION 1. The City Council of the City of Los Alamitos, California finds that the above recitals are true and correct and are incorporated by reference herein.

SECTION 2. The City Council hereby adopts Ordinance No. 11-01 approving Zoning Ordinance Amendment 09-01 which:

- a. Changes the zoning designation for parcels 242-163-11, 242-163-13 and portion of 242-163-12 from Community Facilities (C-F) to Los Alamitos Medical Center Specific Plan;
- b. Changes the zoning designation for parcels 242-152-21 portion of 242-162-13, portion of 242-163-12 from Commercial Office (C-O) to Los Alamitos Specific Plan; and
- c. Changes the zoning designation for parcels 242-151-20, 242-152-20, 242-162-14, 242-163-14, and portion of 242-162-13 from Planned Light Industrial (P-M) to Los Alamitos Medical Center Specific Plan.

SECTION 3. The City Council's approval of Ordinance No. 11-01 approving Zoning Ordinance Amendment 09-01 is subject to the conditions attached hereto as Exhibit 1 and incorporated by reference as if fully set out herein.

SECTION 4. The City Council approves an amendment to the Zoning Map to reflect the zoning designations in accordance with Section 2 above.

SECTION 5. In compliance with the CEQA, Section 15063 of the CEQA Guidelines, and local guidelines, an Environmental Impact Report (EIR 2010041095) has been prepared for this project for the purpose of identifying the significant effects on the environment of the project, to identify alternatives to the project and to indicate the manner in which those significant effects can be mitigated or avoided. The City Council has determined that all potential environmental impacts, except for cumulative greenhouse gas emissions, would be reduced to levels less than significant with the implementation of mitigation measures outlined in the Mitigation Monitoring Program. Pursuant to Section 21081 of the California Public Resources Code, the City Council has determined that although the project may have unavoidable significant effect on greenhouse gases, the City Council finds that specific overriding benefits, including economic and social benefits of the project, outweigh the significant effects on the environment as outlined in a Statement of Overriding Consideration.

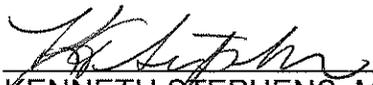
SECTION 6. If any section, subsection, subdivision, sentence, clause, phrase, or portion of the Ordinance for any reason is held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Chapter. The City Council hereby declares that it would have adopted the Chapter, and each section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, or portions thereof be declared invalid or unconstitutional.

SECTION 7. The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6.

SECTION 8. The City Clerk shall certify as to the adoption of this Ordinance and shall cause a summary thereof to be published within fifteen (15) days of the adoption and shall post a certified copy of this Ordinance, including the vote for and against the same, in the Office of the City Clerk, in accordance with Government Code 36933. This Ordinance shall take effect thirty 30 days after its final adoption.

PASSED, APPROVED, and ADOPTED this 22nd day of February 2011, by the following roll call vote:

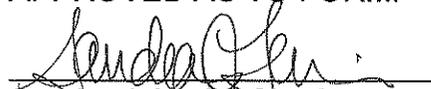
AYES:	COUNCIL MEMBERS:	Poe, Mayor Pro Tem Edgar, Mayor Stephens
NOES:	COUNCIL MEMBERS:	None
ABSTAIN:	COUNCIL MEMBERS:	Kusumoto
ABSENT:	COUNCIL MEMBERS:	Graham-Mejia


KENNETH STEPHENS, Mayor

ATTEST:


Adria M. Jimenez, CMC, City Clerk

APPROVED AS TO FORM:


Sandra J. Levin, City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Adria M. Jimenez, CMC, City Clerk of the City of Los Alamitos, do hereby certify that the foregoing Ordinance was duly introduced and placed upon its first reading at a regular meeting of the City Council on the 7th day of February, 2011, and that thereafter, said Ordinance was duly adopted and passed at a regular meeting of the City Council on the 22nd day of February, 2011, by the following roll-call vote, to wit:

AYES:	COUNCIL MEMBERS:	Poe, Mayor Pro Tem Edgar, Mayor Stephens
NOES:	COUNCIL MEMBERS:	None
ABSTAIN:	COUNCIL MEMBERS:	Kusumoto
ABSENT:	COUNCIL MEMBERS:	Graham-Mejia


Adria M. Jimenez, CMC, City Clerk

**LOS ALAMITOS MEDICAL CENTER
CONDITIONS OF APPROVAL**

- A. Applicant shall include a digitized 3D model of each proposed structure as part of the Planning Commissions submittal for site plan review.
- B. Los Alamitos Medical Center shall bring the accounting balance for all work completed for the Medical Center EIR, including legal, engineering, and traffic to a \$0 balance prior to Second Reading.
- C. Certificate of Occupancy/Completion shall be issued by the Chief Building Official on the Parking Structure. Such certification shall be issued prior to issuance of Permanent Certificate of Occupancy (C of O) or any business licenses on the proposed Medical Office Building.
- D. Should applicant fail to submit a complete application for Site Plan Review of Phase III by the tenth (10) anniversary of effective date of Ordinance, the approvals for all structures for which no Site Plan Review has been submitted shall be null and void.
- E. The Los Alamitos Medical Center shall permit the City of Los Alamitos to sublease roof top portions of the Hospital's Patient Care, Medical Office Building and Parking Structure for purpose of exclusively generating revenue to the City of Los Alamitos related to Telecommunication Antennas. This will include lease areas required to service various antenna. Any such use must maintain the integrity of an OSHPD building. Use shall not interfere with rooftop equipment and future leases shall indemnify building owner and will not invalidate roof warranty.
- F. Prior to the issuance of any building permit (demolition, construction, or utility related – but *excluding* grading), the applicant shall solely fund an independent peer review of any and all hydrology studies as required by the Mitigation Measures for each development phase to confirm conditions outlined in previously completed hydrology studies and as required by the RWQCB at the time of that development phase. The purpose of the peer review is to provide long-term assurance that the applicant shall detain and retain on site any storm water and runoff historically generated from the site (i.e., maintain status quo discharge levels with what was in place prior to project commencement) to the storm drain within Katella Avenue so as to eliminate the threat of an upstream overflow and flooding condition further east along Katella Avenue. The cities of Los Alamitos and Cypress shall jointly select the consultant for such studies. Such consultant shall be a licensed engineer within the State of California.
- G. The Los Alamitos Medical Center shall develop and maintain a list of preferred vendors of which to seek bids and services for construction related improvements. The City of Los Alamitos will assist the Medical Center in managing this list by supplying an annual list of business licenses.
- H. The Los Alamitos Medical shall modify the Specific Plan document to represent final approval of the City Council including timing limitations.

- I. The applicant guarantees that in the event the City receives less than \$40,000 in annual sales tax revenues attributable to the subject property in the first five years beginning after the Certificate of Occupancy is issued to the applicant, the applicant will make annual payments to the City to cover such deficiency.

PLANNING

1. The applicant shall indemnify protect defend and hold harmless the City of Los Alamitos, its officials, officers, employees, agents, departments, and instrumentalities thereof, from any an all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative, or adjudicatory in nature) and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City and/or any of its officials, officers, employees, agents, departments, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void or annul any approval of the City, its legislative body, advisory agencies or administrative officers, employees, agents, departments, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of Civil Procedure Section 1085 or 1094.5 or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City Attorney. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent, but should it do so, the City shall waive the indemnification herein, except the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
2. Approval of this Specific Plan is for the 25 year build out of the Los Alamitos Medical Center, as shown within the LAMC Specific Plan as part of this approval, with such additions, revisions, changes or modifications as required by the Planning Commission and City Council pursuant to approval noted thereon, and on file in the Community Development Department. Subsequent submittals for this project shall be consistent with the adopted Specific Plan and all subsequent conditions imposed by City Council.
3. The applicant shall be responsible for implementing the mitigation measures identified in the Mitigation and Monitoring Program, to the satisfaction of the City of Los Alamitos Community Development Director.
4. Applicant and all subsequent permit issues related to the Specific Plan shall be subject to the Mitigation Monitoring and Reporting Program, attached as an exhibit to the resolution for the Final Environmental Impact Report.

5. Wherever there appears to be a conflict between the Los Alamitos Medical Center Specific Plan and The City's Zoning Ordinance, this Specific Plan, including mitigation measures and conditions shall prevail. For development standards not covered by the Specific Plan, the City's Zoning Ordinance shall be used as a guideline.
6. The property applicant shall file an Acknowledgment of Conditions of Approval with the Community Development Department within 60 days of final approval of this ordinance. The property applicant shall be required to record the Acknowledgment of these Conditions of Approval with the Office of the Orange County Recorder and proof of such recordation shall be submitted to the Community Development Department.
7. The Los Alamitos Medical Center Specific Plan is approved exclusively as a precise plan for the location and design as shown on the relevant drawings referenced in the Specific Plan including Mitigation Measures and Conditions. Procedures for minor modifications and amendments to the Specific Plan are included in Section 6 of the document. If any changes are proposed, a request for a determination of substantial conformance must be submitted to the Community Development Director. If the Community Development Director determines that such proposed change or changes are not material, consistent with the provisions and spirit and intent of this approval action, and that such action would have been the same with the proposed change or changes as for the proposal approved herein, a minor modification t may be approved by the Community Development Director without requiring a public meeting as outlined in Section 6 of the Specific Plan.
8. The applicant, and the applicant's successors in interest, shall be fully responsible for knowing and complying with all conditions of approval. California Government Section 66020(d)(1) requires that the project applicant be notified of all fees, dedications, reservations and other exactions imposed on the development for purposes of defraying all or a portion of the cost of public facilities related to development. Fees for regulatory approvals, including planning processing fees, building permit fees are not included under this noticing requirement.
 - i. Pursuant to Government Code Section 66020(d)(1), the applicant is hereby notified that fees, dedications, reservations and other exactions imposed upon the development, which are subject to notification, are as follows:

- ii. Fees: Applicant shall pay an estimated total of \$702,777.00 in Traffic Impact Fees paid at the time of building permit issuance or OSHPD permit issuance as applicable for each building calculated at rate applicable at time of payment. City Resolution No. 1469 (adopted on June 14, 1993), established the City's current traffic impact fees. The fees were calculated based on the Seven-Year CIP established at that time. Per Resolution 1469, traffic impact fees are identified for four distinct types of land use; residential, commercial, office, and industrial. Increased square footage in the project was grouped by land use category and multiplied by the applicable traffic fee for a total of \$702,777.00 (\$49,347.00 for office uses and \$653,430.00 for commercial uses). The formula for calculation also takes into account the increase in traffic operations as included in the project traffic impact study.
 - iii. Dedications: n/a
 - iv. Reservations: Kaylor Utility Easements
 - v. Other Exactions: n/a
 - vi. The applicant may appeal the imposition or amount of the fees described above within ninety (90) days following the adoption of this resolution and pursuant to the procedures set forth in the Government Code.
9. The applicant, and applicant's successors in interest, shall be responsible for payment of all applicable fees.
10. Applicant shall supply four additional parking spaces upon the completion of Phase 1. Applicant shall supply 28 additional parking spaces at the full build out of the plan to meet the City's minimum requirements for parking. The 28 additional parking spaces are based upon application of a parking requirement for the Central Plant. At the time of site plan review for Phase 3, the applicant may submit a request for elimination of the additional parking requirement based upon floor plans for the central plant which demonstrate that no office uses are included in the building.
11. The pedestrian walkway within the rear parking lot shall be paved with an enhanced pavement to delineate the space as a walkway and a no-parking zone.
12. The applicant in conjunction with the Department of Public Works shall install signage along the public right-of-way on surrounding streets directing vehicles to the hospital parking lots. Site plans submitted for each phase shall include details and location of such signage.
13. During construction a ridesharing program implemented at the LAMC will continue to operate under the proposed Specific Plan and provide large parking spaces to accommodate vans used for ride sharing. This includes distribution of material to employees that provides information about public transit services and alternative transportation opportunities designation of a certain percentage of

parking spaces for occupancy vehicles provision of larger parking spaces to accommodate vans used for ride sharing and designation of adequate passenger loading and unloading and waiting areas.

14. During construction of all phases of the proposed project temporary signage shall be placed in appropriate locations to direct pedestrians to safe walking routes through the medical campus. Type and locations of such signage shall be included within the required Construction Management Plan for each phase.
15. During construction of all phases of construction LAMC shall provide temporary moveable pedestrian pathway between inaccessible areas. This pathway shall be fenced to ensure safety for pedestrians. The Construction Management Plan prepared for each phase shall include this provision.
16. In case of violation of any of the conditions of approval, mitigation measures, or City law, the property owner and tenant will be issued a Notice of Correction. If said violation is not remedied within a reasonable period of time and/or subsequent violations of the conditions of approval and/or City law occurs within ninety days of any Notice of Correction, the property owner shall be held responsible to reimburse the City for all staff time directly attributable to enforcement of the conditions of approval, mitigation measures, and/or City law including but not limited to, revocation of the herein approvals.
17. The property owner shall remove any graffiti on the project site within 12 hours of discovery. The paint utilized to cover the graffiti must substantially match the existing structure. In the event that the paint finish of the abated area is noticeably distinguishable from the rest of the structure, the property owner shall paint additional portions of the building to minimize the disparity subject to the approval of the Community Development Director.
18. To properly buffer surrounding industrial properties – dense, fast growing or mature trees shall be planted prior to occupancy of Hospital Building 2. Areas at the campus perimeter boundaries that abut privately owned properties shall include permanent screening such as berming shrub hedge or wall. Such landscaping shall be shown on the landscape plan component of the Site Plan submittal for each phase as appropriate.
19. All fences and walls within public view from within or outside the LAMC shall be designed to be visually compatible with other site improvements. LAMC shall include wall and fence plans as part of the Site Plan submittal package for the entitlement of each phase of the Specific Plan project.
20. All sides of any cooling and mechanical buildings surface parking areas and parking structures as well as other service and mechanical areas shall be designed, treated and finished in a manner compatible with the surrounding campus pursuant to the design guidelines of the Specific Plan. All service maintenance cooling mechanical and trash collection areas within the Specific Plan area shall be fully screened from public view.

21. If roof mounted, all mechanical equipment shall be set back from the roof edge and either contained within a penthouse or otherwise screened from view in a manner that is architecturally consistent with the rest of the building to the satisfaction of the Community Development Director.
22. All trash areas must meet the following Structural or Treatment Control BMP requirements. Trash areas must have drainage from adjoining roofs and pavement diverted around the area. Trash containers areas must be screened or walled to prevent offsite transport of trash provide Proof of Ongoing BMP Maintenance. LAMC will be required to implement and maintain Structural or Treatment Control BMP's in project plans. LAMC shall provide verification of maintenance provisions to the City of Los Alamitos on an annual basis and shall conduct regular inspections of its treatment BMPs. All trash storage loading service maintenance and mechanical equipment areas in public view from within or outside the medical campus shall be screened by a solid masonry fence or wall of minimum height 6 feet subject to the satisfaction of the Community Development Director.
23. The trash enclosure must be included on construction plans submitted for building permit and are subject to review and approval of Community Development Director. The trash enclosure must be covered.
24. A landscape plan indicating plant types and sizes shall be submitted to the Community Development Department as part of the required Site Plan submittal for each phase prior to issuance of building permits. The landscape plan shall include an automatic irrigation system and shall be prepared by a licensed Landscape Architect. All landscaping material shall be maintained in a neat and orderly manner and shall comply with the City's Water Conservation Ordinance.
25. The parking structure shall be constructed with screening walls of sufficient height to block spill light from vehicle headlights.
26. Waste management and material pollution BMPs for control of pollutants associated with the storage of construction materials and construction activities may include the following:
 - a. Materials will be stored either off site or under cover. Hazardous materials will be stored in contained areas
 - b. Selection of less environmentally detrimental materials will be used where feasible and practical.
 - c. Stockpiles will be minimized and covered to prevent leaching of potential chemicals and sediment.
 - d. Spill Prevention and Control will be implemented to prevent contamination of soil or water with construction and equipment operations chemicals.

- e. Hazardous chemicals used in construction will be disposed of in accordance with hazardous waste materials management regulations.
- f. Contaminated Soil Management- Soil found to exhibit signs of pre-existing contamination will be tested and disposed of as required based on level of contamination. No contaminated soil will be brought on site and used as fill material

ENGINEERING

- 27. All required Engineering plans and studies shall be prepared by a Registered Professional Engineer or applicable utility provider, and submitted to City Engineer for review and approval.
- 28. Prior to the start of work, the applicant shall obtain a City approval for all work in the public right-of-way. All work shall be done in accordance with Orange County Public Works Department Standards, and/or otherwise specified, to the satisfaction of the City Engineer and completed prior to issuance of the certificate of occupancy.
- 29. Approval of this project shall be subject to the requirements of (and all improvements shall be constructed in accordance with) the Los Alamitos Municipal Code, the Orange County Public Works Department Standard Specifications and Standard Plans.
- 30. The applicant shall submit for review and approval from the City Engineer from the applicable service providers for sewer and water, the following reports.
 - a. A Master Utilities Plan, supported by calculations, that includes the specifics on sewer, water, drainage and storm drain that will serve the entire project.
 - b. The Master Utility Plan shall include a preliminary drainage study of the project including diversions, off-site areas that drain onto and/or through the development, and justification of any diversions and how the map grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood. Master plan shall also provide evidence to the City Engineer that the grading and development produces no overloading of downstream systems, grading a development shall balance tributary drainage areas to reflect existing conditions and prove, with an appropriate hydrological and hydraulic study, that downstream systems will not be overburdened, and that hazardous conditions are non-existent. The calculations shall include a drainage basin map showing basin limits and area in acres, hydrology and system hydraulic calculations, pipe size calculations, inlet capacity calculations, and other information necessary to support the proposed design. Storm drains will be sized to carry the flows generated by the design storm per County of Orange Standards. The storm drain system design calculations shall show that the pipes have a self-cleaning minimum velocity of three feet

- (3') per second when flowing half full (Design Manual Concrete Pipe, Page 7 and Caltrans Highway Design Manual, Page 830-15). Hydrologic and hydraulic calculations demonstrating adequate site drainage from a 10-year return frequency storm (25-year frequency in sump areas) prepared by a Registered Civil Engineer shall be submitted with the Grading Plan. City Engineer is authorized to use 2010 EIR hydraulic study if applicable.
- c. Master Utilities Plan shall address the need if any for upsizing of existing sewer and water utilities necessary to provide service to the development.
 - d. A geotechnical report for the review and approval of the Director of Community Development and City Engineer. The report shall include the information and be in a form as required by the Grading Ordinance. The report shall include a section on soils analysis verifying that on-site soils are suitable for the proposed development. These studies shall include assessment of potential soil-related constraints and hazards such as slope instability, settlement, liquefaction, and related seismic impacts. The studies shall include specific mitigation measures, addressing all identified geotechnical constraints, in accordance with the Uniform Building Code and relevant city grading and subdivision ordinances. Proof of completion of any required remediation shall be provided prior to completion of the grading and acceptance of the grading improvements. The applicant shall comply with all requirements of the Rossmoor/Los Alamitos Area Sewer District for sewer connections and sewer improvements and Golden State Water District for connections and water improvements.
 - e. A Stormwater Pollution Prevention Plan. All recommendations shall including Best Management Practices (BMPs) shall be implemented to the maximum extent possible. Evidence that proper clearances have been obtained through the State Water Resources Control Board (SWRCB), including coverage under the NPDES statewide General Storm Water Permit for construction activities, shall be given to the City prior to issuance of any grading permits. On-site drainage shall be in compliance with the National Pollutant Discharge Elimination system (NPDES) guidelines to the satisfaction of the City Engineer. The applicant shall be responsible for filing a Notice of Intent and for filing the appropriate fees pursuant to the National Pollution Discharge Elimination System (NPDES) program.
31. The Applicant is responsible for all coordination with utility companies and the design of all utility service installations that are required to serve the project, including utility layout, design and costs associated with any necessary facilities upgrades, revisions, relocations and/or extensions. The Applicant shall relocate or underground any overhead utilities that conflict with the new improvements.
 32. The applicant shall produce evidence acceptable to City of Los Alamitos, that:
 - a. All construction vehicles or equipment fixed or mobile, operated within 1,000 feet of dwelling shall be equipped with properly operating and maintained mufflers.

- b. All operations shall comply with Division 6 (Noise Control) of the Codified Ordinances of the County of Orange as adopted by the City of Los Alamitos.
- c. Stockpiling and/or vehicle staging areas shall be located as far as practicable from neighboring property owners.
- d. The construction disturbance "footprint" shall be kept as small as possible.
- e. Truck idling shall be prohibited for periods of longer than 10 minutes.
- f. Off site hauling operations shall be prohibited during rush hours unless approved by the City.
- g. Staging areas shall be placed as far as practical from sensitive receptors.
- h. Construction equipment shall be maintained in peak operating conditions to reduce emissions.

Notations in the above format, appropriately numbered and include with other notations on the front sheet of grading plans, will be considered as adequate evidence of compliance with this condition.

33. If applicable, as determined by the City Engineer for off-site hauling of export or import, prior to the issuance of the grading permit, the applicant shall prepare a traffic control plan for approval by the City Engineer. The traffic control plan shall address, to the City's satisfaction, the following issues (at a minimum):
- a. A haul routing plan that identifies routes to be used.
 - b. The destination of the export earth materials.
 - c. The types of haul vehicles to be used (including load capacity and total weight).
 - d. Days and hours of hauling operation.
 - e. The placement of truck entry points, and the placement of truck exit points with all-weather access improvements.
 - f. A plan specifying the traffic safety measures proposed to minimize conflicts with non-project traffic including the number and placement of flag persons, the number and placement of temporary signals and signs, limitations on turning movements, and any other methods determined necessary by the City of assure safe traffic flow.
 - g. That the all weather surface access road be monitored, maintained and repaired for the full period the project. At each truck exit point the applicant (or contractor) shall provide an all-weather access comprised of no less than 300-feet of decomposed granite. All trucks will be required to pass over the entire length of the all weather access prior to exiting the site.

The all-weather access shall be addressed as an element of the Traffic Control Plan.

34. Each grading permit shall include evidence that the applicant will comply with all relevant South Coast Air Quality Management District (SCAQMD) regulations, including Rule 402 (requiring that offsite dust be controlled to avoid nuisance impacts) and Rule 403 (restricting construction emissions). Included among Rule 403 requirements are the following:
 - a. Moisten soil prior to grading.
 - b. Water exposed surfaces at least twice daily, with more frequent watering when winds exceed 25 miles per hour (mph).
 - c. Use a soil conditioner on exposed earth to minimize erosion potential.
 - d. Wash mud-covered tires and undercarriages of trucks leaving the construction site.
 - e. Provide street sweeping as needed to remove dirt from public roadways adjacent to the construction area.
 - f. Suspend grading operations when winds exceed 25 mph.
 - g. Provide permanent sealing of all graded areas as soon as practical after grading.
35. The applicant shall be required to repair and/or replace any damaged public improvements fronting the project resulting from project construction.
36. Prior to the issuance of the first grading permit, the applicant shall submit a construction phase erosion and sediment control plan reviewed and approved by the City Engineer.
37. The following items related to public street frontage shall be installed by the Applicant and shown on the improvement plans or completed prior to approval of the plans:
 - a. All existing curb return pedestrian ramps that do not meet ADA standards shall be removed and replaced with ramps conforming to the current ADA and City Public Works Standards.
 - b. The improvement plans shall include a Public Street Repair Plan (showing the repair details and limits of repair) for all improvement installations that will result in the cutting, demolition, destruction, etc. of any existing improvements within the public right of way including but not limited to the installation of curb, gutter, sidewalk, utilities (water, sewer, storm drain, electrical, cable TV, telephone, etc.). This plan shall be updated during the construction process as necessary to reflect any unanticipated street repairs. Associated with said plan are the following requirements:

- i. The Applicant shall resurface the existing street pavement whenever a street is cut, either by a longitudinal or transverse cut, for utility or other improvement installations. The resurfacing shall extend a sufficient distance beyond any cut to ensure a smooth transition and shall consist of either a 1 inch asphalt concrete overlay, or petromat with a minimum 1 ½ inch asphalt concrete overlay, depending upon the extent of the proposed pavement cuts and the condition of the existing pavement section, as determined by the City Engineer. Applicant shall also provide digouts and reconstruction of any potholed and/or alligatored areas. Installation of street paving by the Applicant shall include reconstruction of the existing pavement section as required to provide adequate conforms. The limits of such reconstruction shall be reviewed by the Development Engineering Division and approved by the City Engineer as part of the construction plan review.
 - ii. Any unanticipated street cuts or other street repair items that become evident following improvement plan approval shall be included by way of revisions to the Street Repair Plan.
38. Traffic control signs and pavement markings shall be installed at the project driveways. Such improvements shall be shown on the improvement plans and reviewed and approved by the Traffic Engineering Division.
39. The following items related to on-site access and circulation shall be installed by the Applicant and shown on the improvement plans or completed prior to approval of the plans:
 - a. All curb frontages intended for no parking shall be painted red and posted with signs (R26F - No Stopping Fire Lane) as required by the Fire Department.
 - b. The Applicant shall pave all required onsite parking areas and drive aisles thereto in conformance with the minimum City of Los Alamitos standard structural section standard (equivalent to a minimum 3 inches of Asphalt Concrete over 10 inches of Class II aggregate Base material).
40. The following items related to grading and drainage shall be shown on the improvement plans or completed prior to approval of the plans:
 - a. The grading plans provided by the Applicant for review shall include the existing topography shown with contour line labeled at one foot intervals and extending a minimum of 100-feet beyond the limits of the site, or a sufficient distance to indicate impacts on adjacent properties.
 - b. The grading and drainage plan shall include a design that allows for a 100-year overland release with all finish floor and garage slab elevations a minimum of one foot above the 100-year overland release elevation.
 - c. On-site storm drains, outside of City right-of-way, shall be made of SDR-35 plastic or reinforced concrete pipe.

41. In accordance with the NPDES Construction General Permit the Applicant shall incorporate water quality Best Management Practices (BMP's) into the project construction process. The improvement plans shall include an erosion control plan and a list of BMP's and construction notes that will be incorporated into the construction process as water quality measures as follows:
 - a. The contractor shall manage the construction activities; and handle, store and dispose of all hazardous and non-hazardous waste in a manner that eliminates or minimizes (to the maximum extent practicable) the discharge of pollutants (e.g. motor oil, fuels, paints/stains and solvents, asphalt products, concrete, herbicides and pesticides, etc.) to the storm drains, ground water, and/or waterways.
 - b. The contractor shall incorporate spill prevention and cleanup measures into the construction operation. All discarded materials shall be removed from the site and disposed of at an approved disposal facility. The contractor shall incorporate protected and designated equipment cleanup and fueling areas into the construction operation.
 - c. The project property owner shall pay all cleanup, testing, disposal and City administrative costs associated with the discharge of pollutants into the storm drains and/or waterways as a result of the project construction activity.
 - d. The project Storm Water Pollution Prevention Plan is to be available at the construction site. The contractor and project property owner are responsible for insuring that all individuals involved in the construction process have access to the SWPPP and are educated in the plan content details and their particular responsibilities within the plan.

42. Post Development measures (BEST MANAGEMENT PRACTICES (BMP'S)) into the project design to mitigate project impacts to water quality.
 - a. The post-construction BMP's shall be shown on the project improvement plans.
 - b. The Applicant shall prepare and submit a Stormwater Runoff Management Plan per "Post Construction Storm Water Pollution Prevention" standards.
 - c. The post construction BMP measures shall be installed by the Applicant and designed and sized by a registered civil engineer in accordance with the City's adopted PCSWPP Standards and an accepted design method such as that which is outlined in the "California Storm Water Association BMP (CSWA-BMP) Handbook". The design and calculations are to be reviewed and approved by the City Engineer.
 - d. The project post-construction BMP's shall include but not be limited to the applicable items listed in the City Council adopted PCSWPP Standards and Attachment 4 of the State General Permit.

43. The following items shall be shown on the improvement plans or completed prior to approval of the plans:
 - a. The improvement plans shall include a Joint Trench Plan.
 - b. The improvement plans shall include a Construction Traffic Control Plan.
 - c. The Applicant shall provide an accessible route of travel from the fronting sidewalk to the buildings. The site Development and grading shall be designed to provide access to all entrances and exterior ground floor exits, and access to normal paths of travel, and where necessary to provide access, shall incorporate pedestrian ramps, curb ramps, etc. The accessible route of travel shall be the most practical direct route between accessible building entrances, accessible site facilities and the accessible entrance to the site per CBC 1127B. All proposed accessible routes of travel shall be identified on the improvement plans.
 - d. For trenching within existing roadway areas, the Applicant's engineer shall ascertain the location of all underground utility systems and shall design any proposed subsurface utility extensions to avoid disrupting the services of such systems. This data shall be shown on the improvement plans.
 - e. The Applicant shall connect the project to the Los Alamitos Sanitation District for sanitary sewer service. Sewer services shall be shown on the improvement plans and shall be installed in accordance with County of Orange standards.
44. Prior to the issuance of each grading permit, whichever occurs first, the applicant shall in a manner meeting the approval of the Public Works Director/City engineer dedicate any and all easements necessary including easements for all utilities located in Kaylor Street to the City of Los Alamitos.
45. As part of Phase 2 improvements, Applicant shall replace the intersection of Kaylor Street and Katella Avenue and the intersection of Kaylor Street and Catalina Street with a commercial drive approach per Orange County PF & RD Standard Plans. Vacation of the street shall be in accordance with the procedures set forth under the California Streets and Highways Code.
46. Applicant shall close any not utilized existing drive approaches along the entire frontage of the project by constructing full height curb and gutter per APWA Standard Plans.
47. Prior to issuance of any permit related to the Courtyard or Patient Care/Hospital Building 1, applicant shall satisfy all requirement of the City Engineer related to the vacation of Kaylor.
48. Prior to issuance of a building permit for the project the Applicant shall submit documentation to the City Engineer for review and approval that indicates that the following items have been addressed:
 - a. All required improvements shall be completed by the Applicant prior to occupancy and establishment of the use. To guarantee completion of the improvements, the Applicant shall enter into an agreement with the City

and provide a security acceptable to the city prior to issuance of any building permit. An agreement will not be required if the Applicant completes all of the required improvements to the satisfaction of the City Engineer prior to issuance of the building permit.

- b. The Applicant shall furnish proof satisfactory in form to the City Attorney of the acquisition of all rights of entry, permits, easements, etc., necessary to construct the project or to satisfy required project mitigation measures and/or conditions prior to issuance of a building permit for the applicable building.
 - c. The property owner shall enter into a long term maintenance agreement with the City of Los Alamitos approved both as to form and substance by the City Attorney and City Engineer for long term maintenance, financing and monitoring for the post construction storm water best management practices that are incorporated as part of the project.
 - i. The agreement shall include a detailed outline of responsible parties, inspections, maintenance procedures, monitoring documentation and annual reporting to the City Public Works Department, and procedures for administration and oversight.
 - ii. The agreement shall be recorded prior to issuance of the building permit. The agreement must provide for the perpetual maintenance and replacement of the improvement as well as appropriate provisions relating to enforcement options, the right of the City to access the property to perform work, the right of the City to recover its costs, indemnification and enforcement provisions, as well as any other provisions deemed necessary or convenient to accomplish the City's objectives. The City of Los Alamitos shall either be a signatory to the agreement or a third party beneficiary to the agreement with the right but not the obligation to enforce the obligation and secure attorney's fees for legal counsel to enforce such obligations.
49. Prior to issuance of a certificate of occupancy for each structure the Applicant shall submit documentation to the Building Division for review and approval that indicates that the following items have been completed as reviewed and approved by the Development Engineering Division:
- a. All onsite and offsite improvements shall be installed prior to occupancy.
 - b. The improvements identified on the Public Street Repair Plan shall be completed.
 - c. Installation of street paving by the Applicant shall be completed and shall include reconstruction of the existing pavement section as required to provide adequate conforms. The limits of such reconstruction shall be reviewed by the Development Engineering Division and approved by the City Engineer as part of the construction plan review.

d. The Applicant shall submit to the Development Engineering Division all improvement plans in digital auto-cad format, compatible with the City's current version, and tied to the City's coordinate system for all storm drain facilities, water lines, lot lines, sanitary sewer lines, sidewalks and streets. Auto-cad files shall be updated for as-built information and submitted to and approved as complete by the Development Engineering Division prior to occupancy.

50. Prior to occupancy all newly installed assemblies must be tested in accordance with local ordinances before they are put in service.
51. A bypass meter shall be supplied by and be the property of Golden State Water Company.

FIRE

52. In conjunction with the City's requirement for Site Plan Review, all building plans shall be submitted to OCFA for review.
53. Prior to the issuance of any building permits, the applicant shall submit a fire hydrant location plan to OCFA for review and approval.
54. Prior to the issuance of any certificate of occupancy, all fire hydrants shall have a blue reflective pavement marker indicating the hydrant location on the street as approved by the fire chief, and must be maintained in good condition by the property owner.
55. Proper to the issuance of any building permits, the applicant shall provide evidence of adequate fire flow. The "Orange County Fire Authority Water Availability for Fire Protection" form shall be signed by the applicable water district and submitted to the Fire Chief for approval.
56. Prior to the issuance of a building permit, the applicant shall submit plans for any required automatic fire sprinkler system in any structure to the Fire Chief for review and approval. Please contact the OCFA at (714) 573-6100 to request a copy of the "Orange County Fire Authority Notes for New NFPA 13 Commercial Sprinkler Systems."
57. Prior to the issuance of a certificate of occupancy, any required sprinkler system shall be operational in a manner meeting the approval of the Fire Chief.
58. Prior to the issuance of a building permit, plans for the fire alarm system (if over 100 sprinklers installed) shall be submitted to the Fire Chief for review and approval. Contact OCFA at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guidelines for New and Existing Fire Alarm Systems."
59. Any required fire alarm system shall be operational prior to the issuance of a certificate of occupancy.

60. Prior to the issuance of any building permits, the applicant shall obtain approval of the Fire Chief for all fire protection access roads to within 150 feet of all portions of the exterior of every structure on site. Please contact OCFA at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guidelines for Emergency Access."

ORDINANCE 11-02

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS ADOPTING THE LOS ALAMITOS MEDICAL CENTER SPECIFIC PLAN (SP 09-01) FOR THE CONSTRUCTION OF A PROPOSED THREE-PHASE MASTER PLANNED EXPANSION INCLUDING THE PROVISION OF AN ADDITIONAL 164 HOSPITAL BEDS, TWO NEW HOSPITAL BUILDINGS, ONE NEW MEDICAL OFFICE BUILDING TO BE USED FOR ADDITIONAL OUTPATIENT AND ASSOCIATED MEDICAL USES, AND AN ADDITIONAL 849 PARKING SPACES FOR A PROJECT GENERALLY LOCATED AT AND AROUND 3751 KATELLA AVENUE

WHEREAS, the Los Alamitos Medical Center ("LAMC") has filed an application for a Specific Plan adoption (SP09-01), General Plan Amendment (GPA 09-01) to change the Land Use Designation from Community and Institutional, Planned Industrial and Professional Office to Specific Plan Land Use Designation, Zoning Ordinance Amendment to change Zoning Designations from Community Facilities (C-F), Commercial Office (C-O) and Planned Light Industrial (PM) to Los Alamitos Medical Center Specific Plan and Street Vacation No. 10-01 to vacate Kaylor Street for the construction of a proposed three-phase master planned expansion including the provision of an additional 164 hospital beds, two new hospital buildings, one new medical office building (75,100 gross square feet) to be used for additional outpatient and associated medical uses, and an additional 849 parking spaces (hereafter "Project") for a project generally located at and around 3751 Katella Avenue (hereafter "subject property");

WHEREAS, some members of the public have expressed concern that this project could prevent future development in the area; and

WHEREAS, LAMC has offered to guarantee that, in the event that the City receives less than \$40,000 in annual revenues attributable to the subject property in the first five years beginning after the Certificate of Occupancy is issued for LAMC, LAMC will make annual payments to the City to cover such deficiency; and

WHEREAS, a specific plan is designed to provide for flexibility and encourage innovative use of land resources and development of a variety of housing and other development types shall be required under Chapter 17.52 to assist in the comprehensive master planning of specific sites; and,

WHEREAS, a specific plan was prepared for the Project, which plan is attached hereto as Exhibit 1; and

WHEREAS, a specific plan was filed with the City by the Los Alamitos Medical Center as required by Section 17.52.050 of the Los Alamitos Municipal Code; and,

WHEREAS, the Planning Commission of the City of Los Alamitos at its regularly scheduled public meeting on October 11, 2010 and November 8, 2010 reviewed the

requested Specific Plan for the Project and recommended City Council approval of Ordinance No. 11-02; and,

WHEREAS, after consideration of all applicable staff reports and all information testimony, and evidence presented at the public hearing, the City Council does hereby make the following findings of fact for the proposed Specific Plan as required by Los Alamitos Municipal Code Section 17.52.060:

A. As specified in the table below, the proposed development is generally consistent with the actions, goals, objectives, and policies of the general plan;

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
LAND USE ELEMENT	
Goal 1: Preserve and promote land uses which reflect Los Alamitos' small-town character with due regard for economic development and future growth potential.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located within an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.
Goal 2: Preserve and enhance the quality of the City's residential neighborhoods.	<u>Consistent.</u> The proposed project would result in the expansion of the existing Los Alamitos Medical Center campus. No expansion beyond the existing property boundaries would occur with the proposed project. Thus, the proposed project would not adversely affect the quality of existing residential neighborhoods.
Goal 3: Promote and upgrade the quality of the City's commercial, industrial, and open space areas.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant, and an additional 849 parking spaces. The proposed project would upgrade the quality of the project site.
Policy 1-1.1: Employ accepted planning and engineering standards and practices as the basis for determining the compatibility of new land uses with existing uses.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus and adoption of a Specific Plan to guide future development. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.
Policy 1-1.2: Adopt feasible mitigation measures throughout the land use decision-making process to reduce impacts of new or expanded uses on existing residential neighborhoods.	<u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus and would not adversely impact existing residential neighborhoods and would be consistent with such existing development, subject to review and approval by the City. This EIR has identified a number of mitigation measures to reduce project-related impacts.

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
<p>Policy 1-1.3: Maintain consistency among General Plan Policies and Programs, the Zoning Ordinance, and related development regulations.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. Approval of the <i>Los Alamitos Medical Center Specific Plan</i> would be preceded by a General Plan Amendment that would create a new Specific Plan Land Use Designation over the entire Medical Center campus ("Specific Plan"). Furthermore, upon approval of the Specific Plan the Medical Center campus would be zoned "Specific Plan" with development standards and development parameters governed by this Specific Plan document. Project design standards and regulations would be subject to review and approval by the City.</p>
<p>Policy 1-1.4: Encourage commercial, office, and industrial uses which are compatible with surrounding residential neighborhoods.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.</p>
<p>Policy 1-3.1: Apply appropriate and consistent standards in land use and site plan approvals to achieve continuity and cohesion in the physical development of the City.</p>	<p><u>Consistent.</u> The project site is currently developed and occupied by the Los Alamitos Medical Center campus. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions. The proposed project would be visually consistent with on-site and adjoining uses, consistent with the City's Early California theme, and consist of similar mass, heights, and landscaping. Refer to Section 5.2, Aesthetics, for a discussion of aesthetic impacts and mitigation measures.</p>
<p>Policy 1-4.1: Consider the fiscal impacts to the City as an integral part of land use decision-making.</p>	<p><u>Consistent.</u> The proposed project includes medical service uses that would provide tax revenue to the City, while increased demands on public services and utilities from future on-site uses may require additional expenditures.</p>
<p>Policy 1.4-2: Base land use decisions on reasoned analysis incorporating technical standards for review included in the respective Elements of the General Plan.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. Approval of the <i>Los Alamitos Medical Center Specific Plan</i> would be preceded by a General Plan Amendment that would create a new Specific Plan Land Use Designations over the entire Medical Center campus ("Specific Plan"). Furthermore, upon approval of the Specific Plan the Medical Center campus would be zoned "Specific Plan" with development standards and development parameters governed by this Specific Plan document. Project design standards and regulations would be subject to review and approval by the City.</p>
<p>Policy 1-4.3: Consider General Plan Policies and Programs in making land use decisions.</p>	<p><u>Consistent.</u> This table provides a review of applicable <i>General Plan</i> policies and programs. The policies and programs have also been reviewed in the <i>Los Alamitos Medical Center Specific Plan</i>.</p>
<p>Policy 1-6.1: Develop and implement land use programs which address and promote the architectural and site design characteristics associated with small town character.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions. The proposed project would be visually consistent with on-site and adjoining uses, consistent with the City's Early California theme, and consist of similar mass, heights, and landscaping. Refer to Section 5.2, Aesthetics, for a discussion of aesthetic impacts and mitigation measures. Furthermore, the proposed project would be subject to design review and approval by the City to ensure consistency with the small town community character.</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
CONSERVATION ELEMENT	
<p>Goal One: Protect Los Alamitos' ground water resources from depletion and pollution.</p>	<p><u>Consistent.</u> Domestic water is provided to the existing Los Alamitos Medical Center campus by the Golden State Water Company. Existing water lines ranging from six to eight inches are located in Catalina Street, Kaylor Street, Florista Street, Bloomfield Avenue, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet Golden State Water Company requirements. It is anticipated that the proposed buildings within the Specific Plan Area would tie into existing pipes in adjacent streets. Proposed new buildings would be served by the existing water lines through a series of laterals. Additionally, subsurface water storage would be located within the campus (located adjacent to Kaylor Street near Hospital Building 1) to provide for emergency water supply in the case of temporary water service interruption per State requirements for hospitals. Future development within the project site would increase the demand for water resources. Refer to <u>Section 5.11, Water</u>, for a discussion of impacts and mitigation measures related to water supply and demand.</p> <p>Stormwater drainage in the City is mostly provided by a network of local drainage facilities. Site-specific drainage patterns could change due to project-related grading. According to Appendix F, <i>Final Hydrology Report</i>, the proposed project would not increase impervious surfaces. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>, for a discussion of impacts and mitigation measures related to ground water resources.</p>
<p>Goal Two: Improve air quality.</p>	<p><u>Consistent.</u> Although the proposed project would not exceed the growth projections used as the basis for the SCAQMD's most recent AQMP, the proposed project would implement all feasible mitigation measures to reduce air pollutant emissions, which would serve to minimize conflicts with applicable policies, plans, and programs resulting from project implementation. Refer to <u>Section 5.4, Air Quality/Greenhouse Gas Emissions</u>, for a discussion of impacts and mitigation measures related to air quality policies, plans, and programs.</p>
<p>Goal Three: Reduce Los Alamitos' solid waste stream.</p>	<p><u>Consistent.</u> Solid waste disposal service for the Medical Center campus would be provided by Consolidated Waste Disposal. Refer to <u>Section 5.13, Solid Waste</u>, for a discussion of impacts and mitigation measures related to solid waste federal, state, and local statutes and regulations.</p>
<p>Goal Five: Encourage the conservation of energy.</p>	<p><u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u>, for a discussion on impacts and mitigation measures related to energy.</p>
<p>Goal Six: Preserve and enhance the quality of the City's landscaped environment.</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Planning Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
Policy 2-1.1: Encourage the use of drought tolerant landscapes in new developments and encourage the replacement of existing water consumptive landscapes.	<u>Consistent.</u> To the extent possible, the Los Alamitos Medical Center would continue to promote water conservation and reclamation (i.e., landscaping with drought-tolerant plants and recycled water) to reduce water consumption. All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i> .
Policy 2-1.2: Encourage the conservation of water used for irrigation in parks, golf courses, recreation areas, commercial and industrial uses, and schools through the use of low-flow drip systems and water-efficient irrigation systems.	<u>Consistent.</u> Future development within the project site would increase the demand for water resources. All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and incorporate drought tolerant plants. The proposed project would incorporate all recommendations and requirements of the Golden State Water Company and Orange County Fire Authority. Refer to <u>Section 5.11, Water</u> , for a discussion of impacts and mitigation measures related to water supply and demand, and fire flow.
Policy 2-1.3: Comply with the policies and programs contained in the City's Water Conservation Ordinance.	<u>Consistent.</u> To the extent possible, the Los Alamitos Medical Center would continue to promote water conservation and reclamation (i.e., landscaping with drought-tolerant plants and recycled water) to reduce water consumption. The hospital would also comply with the policies and programs contained in the City's Water Conservation Ordinance. Refer to <u>Section 5.11, Water</u> , for a discussion on impacts and mitigation measures related to water.
Policy 2-1.4: Regulate commercial and industrial land uses to guard against the pollution of Los Alamitos' ground water resources.	<u>Consistent.</u> The proposed project shall maintain safe and adequate infrastructure services for domestic water service, sanitary sewer service, and storm drain service. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> ; <u>Section 5.11, Water</u> ; and <u>Section 5.12, Wastewater</u> , for discussion of impacts and mitigation measures related to infrastructure services.
Policy 2.1-7: Promote the use of reclaimed water for groundskeeping in parks, golf courses, recreation areas, commercial and industrial uses, and schools.	<u>Consistent.</u> The provision of reclaimed water and associated programs is the responsibility of the Sanitation Districts of Orange County. As available, the proposed project would incorporate reclaimed water distribution infrastructure for irrigation of on-site landscaping with drought-tolerant plants preferred.
Policy 2-2.1: Continue to provide and/or support alternative modes of transportation such as mass transit, dial-a-ride, rail systems, dedicated roadways, and conventional buses.	According to the <i>General Plan</i> , transit service is provided by the Orange County Transportation Authority (OCTA). Existing transit routes include Katella Avenue, Los Alamitos Boulevard, Bloomfield Avenue, and Cerritos Avenue. Buses are scheduled in 20 minute intervals during peak hours of the day. Fixed bus route 50 (Katella Avenue) services the immediate vicinity of the Medical Center campus with a bus stop located on Katella Avenue in front of MOB 3. Bus route 50 is available for visitors, patients, and employees. Other OCTA fixed routes in the vicinity of the project area include Route 42, which travels along Los Alamitos Boulevard just west of the project area, Route 46, which travels along Bloomfield Street and Cerritos Avenue just north of the project area, and Route 701, which travels along Katella Avenue and Los Alamitos Boulevard just west of the project area.
Policy 2-2.2: Encourage increased vehicle occupancy and car-pooling.	<u>Consistent.</u> As deemed necessary by the City, the project's proposed parking areas would provide facilities for high-occupancy vehicles. In addition, the Medical Center is currently in strong compliance with SCAQMD's Rule 2202, which requires that companies or agencies who employ 250 or more people provide a menu of options to reduce mobile source air emissions generated from employee commutes. Options include implementing or continuing with an Employee Commute Reduction Program (ECRP), Purchasing Emission Credits which is an Emission Reductions Strategy (ERS), and investing of one of the SCAQMD Air Quality Investment (AQIP) Programs. The Medical Center files under an ERS program, and also provides bike racks at

Applicable <i>General Plan</i> Implementing Goals and Policies	Consistency of Proposed Project
	each building, as well as \$25 monthly gift certificate drawings. 2010 numbers show exceedence of required Average Vehicle Reductions requirements.
Policy 2-2.3: Provide safe and efficient facilities for pedestrians and bicyclists, integrating these with the County-wide system.	<u>Consistent.</u> The proposed project would not alter existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways that allow pedestrian and cyclist mobility and access to the project site.
Policy 2-2.4: Improve traffic monitoring and metering systems.	<u>Consistent.</u> Kaylor Street would be reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street would extend south from Catalina Street and serve as a private road for ambulances to the new emergency room and access for employees and visitors. Kaylor Street would terminate in a cul-de-sac constructed to City and OCFA standards. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic.
Policy 2-2.5: Actively participate in regional and local governmental efforts to improve air quality.	<u>Consistent.</u> Although the proposed project would not exceed the growth projections used as the basis for the SCAQMD's most recent AQMP, the proposed project would implement all feasible mitigation measures to reduce air pollutant emissions, which would serve to minimize conflicts with applicable policies, plans, and programs resulting from project implementation. Refer to <u>Section 5.4, Air Quality/Greenhouse Gas Emissions</u> , for a discussion of impacts and mitigation measures related to air quality policies, plans, and programs.
Policy 2-2.6: Maintain and improve traffic signal synchronization and provisions for constant traffic flow on all major arteries throughout the City and as extensions of other programs of neighboring cities.	<u>Consistent.</u> Mitigation measures are identified to eliminate the potentially significant traffic impacts at the Kaylor Street/Katella Avenue study intersection for forecast year 2013 and 2035 with project conditions as well as the Los Alamitos Boulevard/Cerritos Avenue study intersection for forecast year 2035 and to achieve acceptable corridor operations along Katella Avenue. Assuming implementation of the identified mitigation measures, adequate left-turn storage capacity on Katella Avenue is available at the study intersections for mitigated forecast year 2035 with project conditions. Refer to <u>Section 5.3, Traffic</u> , for a discussion of impacts and mitigation measures related to traffic and refer to the <i>Los Alamitos Medical Center Specific Plan Traffic Impact Analysis, Appendix D</i> .
Policy 2-3.1: Encourage recycling and waste reduction in accordance with the Source Reduction and Recycling Nondisposal Facility, and Household Hazardous Waste Elements of the adopted Integrated Waste Management Plan.	<u>Consistent.</u> Solid waste disposal service for the Medical Center campus would be provided by Consolidated Waste Disposal. Future development within the project site would increase solid waste generation, placing greater demands on existing solid waste collection services and diminishing landfill capacities. Refer to <u>Section 5.13, Solid Waste</u> , for a discussion of impacts and mitigation measures related to Federal, State, and local statutes and regulations. The transport, use, storage, and disposal of hazardous wastes would be subject to all local, state, and federal regulations. Refer to <u>Section 5.7, Hazards and Hazardous Materials</u> , for a discussion of impacts and mitigation measures related to hazardous materials.
Policy 2-5.1: Promote State energy conservation guidelines, which require the incorporation of energy-savings designs and features into new and refurbished buildings.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.
Policy 2-5.2: Encourage residents, businesses, and public employees to follow energy conservation practices designed to reduce energy consumption.	<u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u> , for a discussion on impacts and mitigation measures related to energy.

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<p>Policy 2-5.3: Consider purchasing energy-efficient and environmentally safe vehicles and machinery.</p>	<p><u>Consistent.</u> The proposed project would incorporate all applicable conservation measures and technologies into project design, and would meet all the State's standards for building energy efficiency. Refer to <u>Section 5.14, Electricity and Natural Gas</u>, for a discussion on impacts and mitigation measures related to energy.</p>
<p>Policy 2-6.1: Retain and maintain the quality and health of existing landscape in the public open spaces (sidewalks, alleys, parks, civic and cultural facilities, and at schools).</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> Title 13, Public Services, Chapter 13.05, Water Efficient Landscaping and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>Policy 2-6.2: Encourage property owners to both maintain and promote landscaping on developed sites.</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>Policy 2-6.3: Encourage developers to incorporate mature and specimen trees and other significant vegetation, which may exist on a site into the design of a development project for that site.</p>	<p><u>Consistent.</u> All landscaping and irrigation systems and plans shall conform to the requirements of the <i>LAMC</i> and the <i>Los Alamitos Medical Center Specific Plan</i>. A California licensed landscape architect shall prepare all landscape drawings and plans, and oversee the installation of all plantings and landscape materials within the Specific Plan Area. Furthermore, a landscape plan for the campus shall be provided at the time of site plan review for review and approval by the Community Development Director. The landscape area requirement may include setback areas and other unused areas of the site that are not intended for future use.</p>
<p>SAFETY ELEMENT</p>	
<p>Goal One: Protect residents and property from natural disasters, fire, and crime.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the City Police Department and Orange County Fire Authority (OCFA). The City's <i>Emergency Operations Plan (EOP)</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>; <u>Section 5.7, Hazards and Hazardous Materials</u>; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>; <u>Section 5.9, Fire Protection</u>; and <u>Section 5.10, Police Protection</u>; for a discussion of</p>

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	impacts and mitigation measures related to natural disasters, fire, and crime.
<p>Policy 3-1.1: Take all necessary steps to be prepared for a major disaster.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the City Police Department, Fire Department, and OCFA. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>; <u>Section 5.7, Hazards and Hazardous Materials</u>; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>; <u>Section 5.9, Fire Protection</u>; and <u>Section 5.10, Police Protection</u>; for a discussion of impacts and mitigation measures related to natural disasters, fire, and crime.</p>
<p>Policy 3-2.1: Take all necessary steps to be prepared for a major earthquake.</p>	<p><u>Consistent.</u> The project site is located in tectonically active Southern California. However, the project site is not located on an Alquist-Priolo Earthquake Fault Zoning Map. The proposed project would meet or exceed all applicable seismic safety design standards, subject to review and approval by the City of Los Alamitos Building and Safety Division. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>, and <u>Section 5.7, Hazards and Hazardous Materials</u>, for a discussion of impacts and mitigation measures related to natural disasters.</p>
<p>Policy 3-3.1: Take appropriate steps to protect new and existing development from flooding.</p>	<p><u>Consistent.</u> Flood hazards related to storm events generally are described in terms of the "100-year flood." As its name implies, the 100-year flood is the largest flood event, which may be expected to occur within a 100-year period. This flood is considered a severe flood but one that can be reasonably predicted and therefore reasonably mitigated. According to the <i>General Plan</i>, the project site is not located in a flood zone. Additionally, the project does not propose any residential uses. However, according to the <i>County of Orange General Plan</i>, the Santa Ana River poses as a potential flood threat for the City. According to the <i>General Plan</i>, potential damage to the City from a failure of the Prado Dam on the Santa Ana River is no longer an issue due to recent dam upgrades. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City</p>

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	officials. Furthermore, prior to the construction and operation of the proposed project, review and approval is required at the State level from the OSHPD and DHS as part of the approval and licensing process for hospitals outside of the purview of the City of Los Alamitos. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality</u> for a discussion of impacts and mitigation measures related to flooding.
Policy 3-4.1: Maintain and expand programs that protect life and property from fire.	<u>Consistent.</u> The proposed project would incorporate all recommendations and requirements of the City Police Department and Orange County Fire Authority. Refer to <u>Section 5.9, Fire Protection,</u> and <u>Section 5.10, Police Protection,</u> for a discussion of impacts and mitigation related to fire hazards, fire protection services, and crime.
Policy 3-5.1: Continue to work closely with the Police Department and community groups to address crime problems and areas in the City.	<u>Consistent.</u> The proposed project would incorporate all recommendations and requirements of the City Police Department. Refer to <u>Section 5.10, Police Protection,</u> for a discussion of impacts and mitigation related to crime.
CIRCULATION AND TRANSPORTATION	
Goal One: Provide an efficient network of streets, bikeways, and pedestrian areas which promote the safe and efficient movement of people and goods.	<u>Consistent.</u> Kaylor Street will be vacated and reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street will extend south from Catalina Street and serve a private road for ambulances to the new emergency room and access for employees and visitors. Kaylor Street will terminate in a cul-de-sac constructed to City and OCFA standards. No improvements are anticipated to be required for Katella Avenue other than frontage improvements associated with the new driveway entry. The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site. Refer to <u>Section 5.3, Traffic,</u> for a discussion of impacts and mitigation measures related to traffic.
Goal Two: Provide adequate on-street parking and loading facilities for businesses and public facilities throughout the City.	<u>Consistent.</u> A total of 1,943 on-site parking spaces would be provided within the Specific Plan Area at buildout, configured in surface and structures parking areas. The total parking required at buildout is 1,934 spaces. Total parking spaces provided at buildout is 1,943 spaces, exceeding the requirement by 9 total spaces. Refer to <u>Section 5.3, Traffic,</u> for a discussion of impacts and mitigation measures related to parking and the proposed <i>Draft Los Alamitos Medical Center Specific Plan.</i>
Goal Three: Maintain safe and adequate infrastructure services.	<u>Consistent.</u> The project shall maintain safe and adequate infrastructure services for domestic water service, sanitary sewer service, and storm drain service. Refer to <u>Section 5.8, Hydrology, Drainage, and Water Quality;</u> <u>Section 5.11, Water;</u> <u>Section 5.12, Wastewater;</u> and <u>Section 5.14, Electricity and Natural Gas,</u> for discussion of impacts and mitigation measures related to infrastructure services.
Policy 5-1.1: Maintain a Level of Service "D" or better on all City arterials and at intersections.	<u>Consistent.</u> Project implementation could increase vehicular movement in the vicinity of this project site during AM and PM peak hour periods. Forecast year 2013 with project phase 1 conditions AM & PM peak hour LOS would not result in a significant impact nor would forecast year 2035 with project conditions. Refer to <u>Section 5.3, Traffic,</u> for a discussion of impacts and mitigation measures related to traffic and refer to the <i>Los Alamitos Medical Center Specific Plan Traffic Impact Analysis, Table 9 and 12, Appendix D.</i>
Policy 5-2.1: Protect and preserve residential neighborhoods from the intrusion of cut-through traffic.	<u>Consistent.</u> The proposed project would not create cut-through traffic. Refer to <u>Section 5.3, Traffic,</u> for a discussion of impacts and mitigation measures related to traffic.
Policy 5-4.1: Encourage walking and bicycling as attractive alternatives to vehicular transportation.	<u>Consistent.</u> The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent

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	roadways to allow pedestrian and cyclist mobility and access to the project site.
<p>Policy 5-4.2: Adequately illuminate and landscape City sidewalks and public areas to encourage pedestrian-oriented activities.</p>	<p><u>Consistent.</u> Pedestrian scale lighting should be present at all entries, plazas, courtyards, parking lots, pedestrian ways, and other areas where nighttime pedestrian activity is expected. Refer to <i>Draft Los Alamitos Medical Center Specific Plan</i> Section 5 Design Guidelines, Section D Landscaping, 3 Lighting Design.</p>
<p>Policy 5-4.3: Support alternatives to single-occupancy vehicle use.</p>	<p><u>Consistent.</u> The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site. Furthermore, as deemed necessary by the City, the project's proposed parking areas would provide facilities for high-occupancy vehicles.</p>
<p>Policy 5-5.1: Encourage owners of substantially remodeled commercial and industrial centers to provide adequate on-site parking.</p>	<p><u>Consistent.</u> Total parking required at buildout is 1,934 spaces. Total parking spaces provided at buildout is 1,943 spaces, exceeding the requirement by 9 total spaces. Refer to the <i>Draft Los Alamitos Medical Center Specific Plan</i>.</p>
<p>Policy 5-5.2: Provide adequate on-site parking at civic facilities (parks, City Hall, Los Alamitos, Community Center, etc.).</p>	<p><u>Consistent.</u> A total of 1,943 on-site parking spaces would be provided within the Specific Plan Area at buildout, configured in surface and structures parking areas. On-street parking is also present on the adjacent public streets. This on-street parking does not count towards meeting the parking needs for the site. Refer to Section 5.3, <u>Traffic</u>, for a discussion of impacts and mitigation measures related to traffic.</p>
<p>Policy 5-7.1: Work with the Rossmoor-Los Alamitos Sewer District so that residents and businesses have adequate and efficient sewage waste disposal services.</p>	<p><u>Consistent.</u> Sanitary sewer service is currently provided to Los Alamitos Medical Center campus by the Rossmoor/Los Alamitos Area Sewer District. Sewer treatment is provided by the Orange County Sanitation District treatment plant in Huntington Beach. Existing sewer lines ranging from eight to 30 inches are located in Cherry, Catalina, Kaylor, Kyle, Florista, and Bloomfield Streets, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet district requirements. Proposed new structures would connect with existing sewer lines via lateral connections to individual buildings. Additionally, subsurface storage tanks would be located within the campus (adjacent to Kaylor Street near new Hospital Building 1) to provide for emergency sewage capacity in the case of temporary sewer service interruption per State requirements for hospitals. Refer to Section 5.12, <u>Wastewater</u>, for discussion of impacts and mitigation measures related to wastewater services.</p>

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<p>Policy 5-7.2: Work with the Southern California Water Company so that residents and businesses have quality drinking water and adequate water supply for fire protection and landscaping needs.</p>	<p><u>Consistent.</u> Domestic water is provided to the Medical Center by the Golden State Water Company. Existing water lines ranging from six to eight inches are located in Catalina Street, Kaylor Street, Florista Street, Bloomfield Avenue, and Katella Avenue. Existing easements would be retained and new easements dedicated to meet district requirements. It is anticipated that the proposed medical facilities within the Specific Plan Area would tie into existing pipes in adjacent streets. Proposed new buildings would be served by the existing water lines through a series of laterals. Additionally, subsurface water storage would be located within the campus (located adjacent to Kaylor Street near new Hospital Building 1) to provide for emergency water supply in the case of temporary water service interruption per State requirements for hospitals. Future development within the project site would increase the demand for water resources. All landscaping and irrigation systems and plans shall conform to the requirements of the LAMC and incorporate drought tolerant plants. The proposed project would incorporate all recommendations and requirements of the Golden State Water Company and Orange County Fire Authority. Refer to <u>Section 5.9, Fire Protection</u>, for a discussion of impacts and mitigation related to fire hazards and fire protection services. Refer to <u>Section 5.11, Water</u>, for a discussion of impacts and mitigation measures related to water supply and demand, and fire flow.</p>
<p>Policy 5-7.3: Work with the Los Angeles Flood Control District and Orange County Environmental Management Agency so that residents and businesses are adequately protected from flooding.</p>	<p><u>Consistent.</u> According to the <i>General Plan</i>, the project site is not located in a flood zone; refer to <i>General Plan Figure 3-2, Flood Zone Map</i>, which was derived from FEMA Map, September 1989. Additionally, the project does not propose any residential uses. However, according to the <i>County of Orange General Plan</i>, the Santa Ana River poses as a potential flood threat for the City. According to the <i>General Plan</i>, potential damage to the City from a failure of the Prado Dam on the Santa Ana River is no longer an issue due to recent dam upgrades. The City's <i>EOP</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Refer to <u>Section 5.7, Hazards and Hazardous Materials</u>, and <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>, for a discussion of impacts and mitigation measures related to flooding.</p>
<p>Policy 5.7-4: Work with safety agencies, such as the Orange County Fire Authority and the AFRC Fire Department, so that residents and businesses are adequately protected from fires and other natural disasters.</p>	<p><u>Consistent.</u> The proposed project was designed such that hazards would not threaten proposed structures or future hospital residents and employees. The proposed project would adhere to all applicable recommendations related to seismic safety as well as comply with all applicable building code requirements. The proposed project would incorporate all recommendations and requirements of the Orange County Fire Authority. The City's <i>Emergency Operations Plan (EOP)</i> addresses the jurisdictions planned response to natural disasters and public safety emergency situations. According to the <i>General Plan</i>, the <i>EOP</i> is activated immediately upon the existences or declaration of a state of emergency for the state or nation, or locally if placed into effect by City officials. Refer to <u>Section 5.6, Geology and Seismic Hazards</u>; <u>Section 5.7, Hazards and Hazardous Materials</u>; <u>Section 5.8, Hydrology, Drainage, and Water Quality</u>; and <u>Section 5.9, Fire Protection</u>, for a discussion of impacts and mitigation measures related to natural disasters and fire.</p>

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NOISE ELEMENT	
<p>Goal One: Protect noise sensitive land uses, including residences, schools, hospitals, libraries, churches and convalescent homes from high noise levels from both existing and future noise sources.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. Existing and future noise levels have been evaluated in the project's acoustical analysis. Noise sources would be reduced, where appropriate, to protect sensitive receptors. Construction noise levels would be temporary and masked by intervening structures and traffic along adjacent streets. Furthermore, off-site buildings, streets, trees, and vegetation would serve as buffers between sensitive receptors. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and mitigation measures related to noise.</p>
<p>Policy 6-1.1: Noise mitigation measures for future development should comply with the standards included in the City of Los Alamitos Noise Element.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and Mitigation Measures NOI-1, NOI-2, and NOI-3.</p>
<p>Policy 6-2.1: Potential noise impacts due to stationary sources should be mitigated in the planning stage.</p>	<p><u>Consistent.</u> The impacts of project-related noise have been evaluated as part of the environmental review process for the proposed project and shall comply with the <i>General Plan</i> Noise Element, <i>Municipal Code</i> Section 17.24.020(d) requirements, recommended mitigation measures, and the acoustical <i>Significance Criteria</i> and <i>Incremental Effects</i>. The Central Plant is located approximately 386 feet northwest of the nearest sensitive receptors. Furthermore, the off-site buildings, Catalina Street, and street trees and vegetation would serve as a buffer between the project site and these residential uses. Refer to <u>Section 5.5, Noise</u>, for a discussion of impacts and Mitigation Measure NOI-1 which states stationary noise sources shall be located as far from adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporated insulations barriers, or other measures to the extent feasible.</p>
ECONOMIC DEVELOPMENT ELEMENT	
<p>Goal One: Enhance the fiscal viability of Los Alamitos by promoting retention and expansion of existing revenue bases, and development of new City revenue sources.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The proposed project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant, and an additional 849 parking spaces. The proposed project would provide new jobs in the City, along with increased tax revenue.</p>
<p>Policy 7-1.2: Actively promote expansion and retention of existing businesses.</p>	<p><u>Consistent.</u> The proposed project includes the expansion of the existing Los Alamitos Medical Center campus which would balance the growing population and availability of local medical services. The existing medical center provides medical care to over 100,000 patients per year, with over 88-percent of admissions from within an eight-mile radius. The facility is a significant local employer and supports local services through utility, property, "first functional use" and sales taxes. With the changing trends in medical care and hospital design, an update of the hospital facilities is needed, to provide a modernized emergency room and reduced bed occupancy in hospital rooms, providing a higher percentage of low- or single-occupancy rooms. The proposed project proposes an additional 164 hospital beds, two new hospital buildings, one new medical office building, a new central plant,</p>

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	and an additional 849 parking spaces. The proposed expanded medical facilities would provide valuable medical services to the public and stimulate the local economy by providing jobs to residents in the City and expanded tax revenues.

B. The design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access and public services and utilities (e.g., drainage, fire, protection, sewers, water, etc.), would ensure that the proposed development would not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or welfare, or injurious to the property or improvements in the vicinity and zoning district in which the property is located as the Specific Plan proposed a development that is located adjacent to Katella Avenue, a main thoroughfare currently occupied by similar facilities, creates a development would be located within an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project.

C. The proposed development would:

a. Ensure quality development by encouraging greater flexibility with more creative and aesthetically pleasing designs for major urban developments. Through the adoption of the Los Alamitos Medical Center Specific Plan, the project has been reviewed for consistency with the City's General Plan and Zoning Code and has been conditioned to have each facility within the Specific Plan be reviewed separately by the Planning Commission prior to construction to ensure compatibility.

b. Ensure the timely provision of essential public services and facilities consistent with the demand for the services and facilities wherein the Los Alamitos Medical Center Specific Plan ensures the provision of Dry utilities and Public Services. Cable service for the Los Alamitos Medical Center Specific Plan will be provided by Time Warner Cable through connections to existing lines. Telephone service for the Los Alamitos Medical Center Specific Plan will be provided by Verizon through connections to existing lines. Natural Gas service for the Los Alamitos Medical Center will be provided by Southern California Gas. Existing gas lines ranging from 2 to 4 inches in size are located in Cherry Street, Catalina Avenue, Kyle Street, Florista Street, Bloomfield Street, and Katella Avenue. Electrical Power for the Los Alamitos Medical Center will be provided by Southern California Edison through connections to existing lines on surrounding streets. Public Services for fire service for the Los Alamitos Medical Center Specific Plan is provided by the Orange County Fire Authority (OCFA) and receives fire protection from two stations: Fire Station #2 and Fire Station #17. Fire Station #2 is located at 3642 Green Avenue, which is less than 0.2 miles southwest of the project site. Estimated response time to the Los Alamitos Medical Center is less than five minutes. Fire Station #17 is located at 4991 Cerritos Avenue in Cypress. Police service for the Los Alamitos Medical Center Specific Plan is provided by the Los Alamitos Police Department. The Police Station is located on Katella Avenue, several blocks west of the Specific Plan

Area. Estimated response time to the Los Alamitos Medical Center is less than five minutes. Solid waste (trash) disposal service for the Los Alamitos Medical Center Specific Plan will be provided by Consolidated Waste Disposal. Hazardous and/or Medical Waste disposal services will be provided by Steri-Cycle.

c. Promote a harmonious variety of housing choices and commercial and industrial activities; attain a desirable balance of residential and employment opportunities; and result in a high level of urban amenities and the preservation of the natural and scenic qualities of open space. The Los Alamitos Medical Center Specific Plan allows for a variety of commercial activities within the 18.3 acres site. The Los Alamitos Medical Center Specific Plan increases density within the 18.3 acres to allow for a campus like environment conducive to walkability among Medical users, medical employees and medical employers. The direct effects of the project would create two types of secondary effects or indirect growth. First, the direct spending associated with the increased commercial activity would stimulate production of associated products and services in the economy. Although this secondary impact would not be substantial in terms of the local economy, existing firms throughout Orange and Los Angeles Counties, and in some cases beyond, would increase production. They would increase their purchases for materials and supplies, and at some point, they would hire new workers. Second, the new employees would form households. These new households, through spending, would increase demand for housing and a range of related services. Thus, the direct employment increase would, in turn, increase indirect employment, households, and population. Construction of the proposed project would directly, but temporarily, increase construction employment.

D. The subject property is physically suitable for the proposed lands use designation(s) as the Los Alamitos Medical Center Specific Plan includes the expansion of the existing Los Alamitos Medical Center campus. The proposed development would be located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions. The proposed project would be visually consistent with on-site and adjoining uses, consistent with the City's Early California theme, and consist of similar mass, heights, and landscaping.

E. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and the city's environmental review procedures. In compliance with Section 15063 of the CEQA Guidelines, and local guidelines, and Environmental Impact Report has been prepared for this project with the purpose of identifying the Project's significant effects on the environment, to identify alternative to the project and to indicate the manner in which those significant effects can be mitigated or avoided. Pursuant to Section 21081 of the California Public Resources Code, the Planning Commission had determined that although the project may have unavoidable significant effect on greenhouse gasses, there are specific overriding benefits including economic and social benefits of the

project, which outweigh the significant effects on the environment as outlined in a Statement of Overriding Consideration.

F. There would not be potential significant negative effects upon environmental quality and natural resources that would not be properly mitigated and monitored, unless the council adopts a statement of overriding considerations. In compliance with the California Environmental Quality Act, Section 15063 of the California Environmental Quality Act guidelines, and local guidelines, an Environmental Impact Report has been prepared for this project with the purpose of identifying the Project's significant effects on the environment, to identify alternatives to the project and to indicate the manner in which those significant effects can be mitigated or avoided Pursuant to Section 261081 of the California Public Resources Code. The City has determined that although the project may have unavoidable significant effect on greenhouse gases, there are specific overriding economic, social and other benefits of the project which outweigh the significant effects on the environment as outlined in a Statement of Overriding Consideration.

G. The sites are physically suitable (including access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designation(s) and anticipated land use development as the Project is located on an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project. The project site and its surroundings are primarily urbanized and contain a mix of land uses with structures of various age and conditions.

H. The proposed Zone Change is internally consistent with other applicable provisions of this zoning code. To ensure consistency between the proposed Specific Plan and the LAZC (Title 17, Zoning, of the City of Los Alamitos Municipal Code), the LAZC would be revised alongside the adoption of the Specific Plan. More specifically, the proposed Zone Change would establish the boundaries and replace the Specific Plan Area's existing zoning districts of Community Facilities (CF), Commercial Office (CO), and Planned Light Industrial (PM) with the Los Alamitos Medical Center Specific Plan district. The Los Alamitos Medical Center Specific Plan would be both a regulatory and policy document needed to be adopted by the City of Los Alamitos by ordinance. Additionally, the existing zoning district standards and regulations would be replaced with the Specific Plan's development standards and design standards/guidelines. As previously noted, Specific Plan Section 4, Development Regulations, includes development regulations for all uses included within the Specific Plan. They are precise specifications for such things as allowable uses, temporary uses and special events, conditional uses, intensity, general development standards, height, setbacks, building separation, landscaping requirements, fencing, parking requirements, signage, and development standards modifications. Application of these regulations is specifically intended to provide for the orderly development of the site and effective fulfillment of the project objectives, while protecting the health, safety, and welfare of the employees and users, as well as those of the surrounding community. Specific Plan Section 5, Design Guidelines, identifies design guidelines, which provides an overall vision for the redevelopment of the Los Alamitos Medical Center. The guidelines offer design guidance in the areas of architecture, landscape, and public spaces to ensure a certain

level of aesthetic quality and functional efficiency, as well as compatibility between the project's components and surrounding community. The intent of the design guidelines is to encourage the highest level of design quality and creativity to ensure an atmosphere of wellness. Specific Plan Chapter 1, Introduction, establishes the goal that the City would enforce, in order to implement the Specific Plan. The goals are intended to serve as a benchmark for the Specific Plan. During project review and analysis, the goals can be used to determine if future development proposals are supportive of the spirit and intent of the Specific Plan. The goals also provide the foundation for the Development Plan, Development Regulations, and the Design Guidelines.

THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA DOES ORDAIN AS FOLLOWS;

SECTION 1. The City Council of the City of Los Alamitos, California finds that the above recitals are true and correct and are incorporated by reference herein.

SECTION 2. The City Council hereby adopts Ordinance No. 11-02 approving Specific Plan (SP 09-01) for the Los Alamitos Medical Center, attached hereto as Exhibit 1 and incorporated by reference herein subject to the conditions imposed attached hereto as Exhibit 2 and incorporated by reference as in full set out herein.

SECTION 3. In compliance with the California Environmental Quality Act, Section 15063 of the California Environmental Quality Act guidelines, and local guidelines an Environmental Impact Report (EIR) 2010041095 has been prepared for this project for the purpose of identifying the significant effects on the environment of the project, to identify alternatives to the project and to indicate the manner in which those significant effects can be mitigated or avoided. The City Council has determined that all potential environmental impacts, except for cumulative greenhouse gas emissions, would be reduced to levels less than significant with the implementation of mitigation measures outlined in the Mitigation Monitoring Program. Pursuant to Section 261081 of the California Public Resources Code the City Council has determined that although the project may have unavoidable significant effect on greenhouse gases, the City Council finds that specific overriding benefits, including economic and social benefits of the project outweigh the significant effects on the environment as outlined in a Statement of Overriding Consideration.

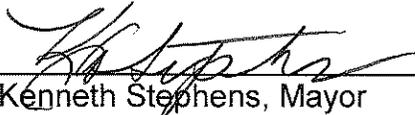
SECTION 4. If any section, subsection, subdivision, sentence, clause, phrase, or portion of the Ordinance for any reason is held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Chapter. The City Council hereby declares that it would have adopted the Chapter, and each section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, or portions thereof be declared invalid or unconstitutional.

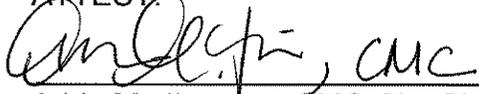
SECTION 5. The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6.

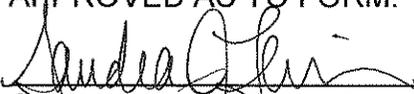
SECTION 6. The City Clerk shall certify as to the adoption of this Ordinance and shall cause a summary thereof to be published within fifteen (15) days of the adoption and shall post a certified copy of this Ordinance, including the vote for and against the same, in the Office of the City Clerk, in accordance with Government Code 36933. This Ordinance shall take effect thirty 30 days after its final adoption.

PASSED, APPROVED, and ADOPTED this 22nd day of February 2011, by the following roll call vote:

AYES:	COUNCIL MEMBERS:	Poe, Mayor Pro Tem Edgar, Mayor Stephens
NOES:	COUNCIL MEMBERS:	None
ABSTAIN:	COUNCIL MEMBERS:	Kusumoto
ABSENT:	COUNCIL MEMBERS:	Graham-Mejia


Kenneth Stephens, Mayor

ATTEST:

Adria M. Jimenez, CMC City Clerk

APPROVED AS TO FORM:

Sandra J. Levin, City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Adria M. Jimenez, CMC, City Clerk of the City of Los Alamitos, do hereby certify that the foregoing Ordinance was duly introduced and placed upon its first reading at a regular meeting of the City Council on the 7th day of February, 2011, and that thereafter, said Ordinance was duly adopted and passed at a regular meeting of the City Council on the 22nd day of February 2011, by the following roll call vote, to wit:

AYES:	COUNCIL MEMBERS:	Poe, Mayor Pro Tem Edgar, Mayor Stephens
NOES:	COUNCIL MEMBERS:	None
ABSTAIN:	COUNCIL MEMBERS:	Kusumoto
ABSENT:	COUNCIL MEMBERS:	Graham-Mejia

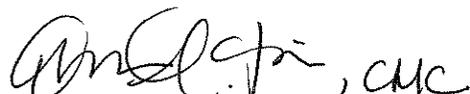

Adria M. Jimenez, CMC City Clerk

EXHIBIT 1

LOS ALAMITOS MEDICAL CENTER SPECIFIC PLAN

**LOS ALAMITOS MEDICAL CENTER
CONDITIONS OF APPROVAL**

- A. Applicant shall include a digitized 3D model of each proposed structure as part of the Planning Commissions submittal for site plan review.
- B. Los Alamitos Medical Center shall bring the accounting balance for all work completed for the Medical Center EIR, including legal, engineering, and traffic to a \$0 balance prior to Second Reading.
- C. Certificate of Occupancy/Completion shall be issued by the Chief Building Official on the Parking Structure. Such certification shall be issued prior to issuance of Permanent Certificate of Occupancy (C of O) or any business licenses on the proposed Medical Office Building.
- D. Should applicant fail to submit a complete application for Site Plan Review of Phase III by the tenth (10) anniversary of effective date of Ordinance, the approvals for all structures for which no Site Plan Review has been submitted shall be null and void.
- E. The Los Alamitos Medical Center shall permit the City of Los Alamitos to sublease roof top portions of the Hospital's Patient Care, Medical Office Building and Parking Structure for purpose of exclusively generating revenue to the City of Los Alamitos related to Telecommunication Antennas. This will include lease areas required to service various antenna. Any such use must maintain the integrity of an OSHPD building. Use shall not interfere with rooftop equipment and future leases shall indemnify building owner and will not invalidate roof warranty.
- F. Prior to the issuance of any building permit (demolition, construction, or utility related – but *excluding* grading), the applicant shall solely fund an independent peer review of any and all hydrology studies as required by the Mitigation Measures for each development phase to confirm conditions outlined in previously completed hydrology studies and as required by the RWQCB at the time of that development phase. The purpose of the peer review is to provide long-term assurance that the applicant shall detain and retain on site any storm water and runoff historically generated from the site (i.e., maintain status quo discharge levels with what was in place prior to project commencement) to the storm drain within Katella Avenue so as to eliminate the threat of an upstream overflow and flooding condition further east along Katella Avenue. The cities of Los Alamitos and Cypress shall jointly select the consultant for such studies. Such consultant shall be a licensed engineer within the State of California.
- G. The Los Alamitos Medical Center shall develop and maintain a list of preferred vendors of which to seek bids and services for construction related improvements. The City of Los Alamitos will assist the Medical Center in managing this list by supplying an annual list of business licenses.
- H. The Los Alamitos Medical shall modify the Specific Plan document to represent final approval of the City Council including timing limitations.

- I. The applicant guarantees that in the event the City receives less than \$40,000 in annual sales tax revenues attributable to the subject property in the first five years beginning after the Certificate of Occupancy is issued to the applicant, the applicant will make annual payments to the City to cover such deficiency.

PLANNING

1. The applicant shall indemnify protect defend and hold harmless the City of Los Alamitos, its officials, officers, employees, agents, departments, and instrumentalities thereof, from any an all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative, or adjudicatory in nature) and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City and/or any of its officials, officers, employees, agents, departments, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void or annul any approval of the City, its legislative body, advisory agencies or administrative officers, employees, agents, departments, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of Civil Procedure Section 1085 or 1094.5 or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City Attorney. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent, but should it do so, the City shall waive the indemnification herein, except the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
2. Approval of this Specific Plan is for the 25 year build out of the Los Alamitos Medical Center, as shown within the LAMC Specific Plan as part of this approval, with such additions, revisions, changes or modifications as required by the Planning Commission and City Council pursuant to approval noted thereon, and on file in the Community Development Department. Subsequent submittals for this project shall be consistent with the adopted Specific Plan and all subsequent conditions imposed by City Council.
3. The applicant shall be responsible for implementing the mitigation measures identified in the Mitigation and Monitoring Program, to the satisfaction of the City of Los Alamitos Community Development Director.
4. Applicant and all subsequent permit issues related to the Specific Plan shall be subject to the Mitigation Monitoring and Reporting Program, attached as an exhibit to the resolution for the Final Environmental Impact Report.

5. Wherever there appears to be a conflict between the Los Alamitos Medical Center Specific Plan and The City's Zoning Ordinance, this Specific Plan, including mitigation measures and conditions shall prevail. For development standards not covered by the Specific Plan, the City's Zoning Ordinance shall be used as a guideline.
6. The property applicant shall file an Acknowledgment of Conditions of Approval with the Community Development Department within 60 days of final approval of this ordinance. The property applicant shall be required to record the Acknowledgment of these Conditions of Approval with the Office of the Orange County Recorder and proof of such recordation shall be submitted to the Community Development Department.
7. The Los Alamitos Medical Center Specific Plan is approved exclusively as a precise plan for the location and design as shown on the relevant drawings referenced in the Specific Plan including Mitigation Measures and Conditions. Procedures for minor modifications and amendments to the Specific Plan are included in Section 6 of the document. If any changes are proposed, a request for a determination of substantial conformance must be submitted to the Community Development Director. If the Community Development Director determines that such proposed change or changes are not material, consistent with the provisions and spirit and intent of this approval action, and that such action would have been the same with the proposed change or changes as for the proposal approved herein, a minor modification t may be approved by the Community Development Director without requiring a public meeting as outlined in Section 6 of the Specific Plan.
8. The applicant, and the applicant's successors in interest, shall be fully responsible for knowing and complying with all conditions of approval. California Government Section 66020(d)(1) requires that the project applicant be notified of all fees, dedications, reservations and other exactions imposed on the development for purposes of defraying all or a portion of the cost of public facilities related to development. Fees for regulatory approvals, including planning processing fees, building permit fees are not included under this noticing requirement.
 - i. Pursuant to Government Code Section 66020(d)(1), the applicant is hereby notified that fees, dedications, reservations and other exactions imposed upon the development, which are subject to notification, are as follows:

- ii. Fees: Applicant shall pay an estimated total of \$702,777.00 in Traffic Impact Fees paid at the time of building permit issuance or OSHPD permit issuance as applicable for each building calculated at rate applicable at time of payment. City Resolution No. 1469 (adopted on June 14, 1993), established the City's current traffic impact fees. The fees were calculated based on the Seven-Year CIP established at that time. Per Resolution 1469, traffic impact fees are identified for four distinct types of land use; residential, commercial, office, and industrial. Increased square footage in the project was grouped by land use category and multiplied by the applicable traffic fee for a total of \$702,777.00 (\$49,347.00 for office uses and \$653,430.00 for commercial uses). The formula for calculation also takes into account the increase in traffic operations as included in the project traffic impact study.
 - iii. Dedications: n/a
 - iv. Reservations: Kaylor Utility Easements
 - v. Other Exactions: n/a
 - vi. The applicant may appeal the imposition or amount of the fees described above within ninety (90) days following the adoption of this resolution and pursuant to the procedures set forth in the Government Code.
9. The applicant, and applicant's successors in interest, shall be responsible for payment of all applicable fees.
10. Applicant shall supply four additional parking spaces upon the completion of Phase 1. Applicant shall supply 28 additional parking spaces at the full build out of the plan to meet the City's minimum requirements for parking. The 28 additional parking spaces are based upon application of a parking requirement for the Central Plant. At the time of site plan review for Phase 3, the applicant may submit a request for elimination of the additional parking requirement based upon floor plans for the central plant which demonstrate that no office uses are included in the building.
11. The pedestrian walkway within the rear parking lot shall be paved with an enhanced pavement to delineate the space as a walkway and a no-parking zone.
12. The applicant in conjunction with the Department of Public Works shall install signage along the public right-of-way on surrounding streets directing vehicles to the hospital parking lots. Site plans submitted for each phase shall include details and location of such signage.
13. During construction a ridesharing program implemented at the LAMC will continue to operate under the proposed Specific Plan and provide large parking spaces to accommodate vans used for ride sharing. This includes distribution of material to employees that provides information about public transit services and alternative transportation opportunities designation of a certain percentage of

parking spaces for occupancy vehicles provision of larger parking spaces to accommodate vans used for ride sharing and designation of adequate passenger loading and unloading and waiting areas.

14. During construction of all phases of the proposed project temporary signage shall be placed in appropriate locations to direct pedestrians to safe walking routes through the medical campus. Type and locations of such signage shall be included within the required Construction Management Plan for each phase.
15. During construction of all phases of construction LAMC shall provide temporary moveable pedestrian pathway between inaccessible areas. This pathway shall be fenced to ensure safety for pedestrians. The Construction Management Plan prepared for each phase shall include this provision.
16. In case of violation of any of the conditions of approval, mitigation measures, or City law, the property owner and tenant will be issued a Notice of Correction. If said violation is not remedied within a seasonable period of time and/or subsequent violations of the conditions of approval and/or City law occurs within ninety days of any Notice of Correction, the property owner shall be held responsible to reimburse the City for all staff time directly attributable to enforcement of the conditions of approval, mitigation measures, and/or City law including but not limited to, revocation of the herein approvals.
17. The property owner shall remove any graffiti on the project site within 12 hours of discovery. The paint utilized to cover the graffiti must substantially match the existing structure. In the event that the paint finish of the abated area is noticeably distinguishable from the rest of the structure, the property owner shall paint additional portions of the building to minimize the disparity subject to the approval of the Community Development Director.
18. To properly buffer surrounding industrial properties – dense, fast growing or mature trees shall be planted prior to occupancy of Hospital Building 2. Areas at the campus perimeter boundaries that abut privately owned properties shall include permanent screening such as berming shrub hedge or wall. Such landscaping shall be shown on the landscape plan component of the Site Plan submittal for each phase as appropriate.
19. All fences and walls within public view from within or outside the LAMC shall be designed to be visually compatible with other site improvements. LAMC shall include wall and fence plans as part of the Site Plan submittal package for the entitlement of each phase of the Specific Plan project.
20. All sides of any cooling and mechanical buildings surface parking areas and parking structures as well as other service and mechanical areas shall be designed, treated and finished in a manner compatible with the surrounding campus pursuant to the design guidelines of the Specific Plan. All service maintenance cooling mechanical and trash collection areas within the Specific Plan area shall be fully screened from public view.

21. If roof mounted, all mechanical equipment shall be set back from the roof edge and either contained within a penthouse or otherwise screened from view in a manner that is architecturally consistent with the rest of the building to the satisfaction of the Community Development Director.
22. All trash areas must meet the following Structural or Treatment Control BMP requirements. Trash areas must have drainage from adjoining roofs and pavement diverted around the area. Trash containers areas must be screened or walled to prevent offsite transport of trash provide Proof of Ongoing BMP Maintenance. LAMC will be required to implement and maintain Structural or Treatment Control BMP's in project plans. LAMC shall provide verification of maintenance provisions to the City of Los Alamitos on an annual basis and shall conduct regular inspections of its treatment BMPs. All trash storage loading service maintenance and mechanical equipment areas in public view from within or outside the medical campus shall be screened by a solid masonry fence or wall of minimum height 6 feet subject to the satisfaction of the Community Development Director.
23. The trash enclosure must be included on construction plans submitted for building permit and are subject to review and approval of Community Development Director. The trash enclosure must be covered.
24. A landscape plan indicating plant types and sizes shall be submitted to the Community Development Department as part of the required Site Plan submittal for each phase prior to issuance of building permits. The landscape plan shall include an automatic irrigation system and shall be prepared by a licensed Landscape Architect. All landscaping material shall be maintained in a neat and orderly manner and shall comply with the City's Water Conservation Ordinance.
25. The parking structure shall be constructed with screening walls of sufficient height to block spill light from vehicle headlights.
26. Waste management and material pollution BMPs for control of pollutants associated with the storage of construction materials and construction activities may include the following:
 - a. Materials will be stored either off site or under cover. Hazardous materials will be stored in contained areas
 - b. Selection of less environmentally detrimental materials will be used where feasible and practical.
 - c. Stockpiles will be minimized and covered to prevent leaching of potential chemicals and sediment.
 - d. Spill Prevention and Control will be implemented to prevent contamination of soil or water with construction and equipment operations chemicals.

- e. Hazardous chemicals used in construction will be disposed of in accordance with hazardous waste materials management regulations.
- f. Contaminated Soil Management- Soil found to exhibit signs of pre-existing contamination will be tested and disposed of as required based on level of contamination. No contaminated soil will be brought on site and used as fill material

ENGINEERING

- 27. All required Engineering plans and studies shall be prepared by a Registered Professional Engineer or applicable utility provider, and submitted to City Engineer for review and approval.
- 28. Prior to the start of work, the applicant shall obtain a City approval for all work in the public right-of-way. All work shall be done in accordance with Orange County Public Works Department Standards, and/or otherwise specified, to the satisfaction of the City Engineer and completed prior to issuance of the certificate of occupancy.
- 29. Approval of this project shall be subject to the requirements of (and all improvements shall be constructed in accordance with) the Los Alamitos Municipal Code, the Orange County Public Works Department Standard Specifications and Standard Plans.
- 30. The applicant shall submit for review and approval from the City Engineer from the applicable service providers for sewer and water, the following reports.
 - a. A Master Utilities Plan, supported by calculations, that includes the specifics on sewer, water, drainage and storm drain that will serve the entire project.
 - b. The Master Utility Plan shall include a preliminary drainage study of the project including diversions, off-site areas that drain onto and/or through the development, and justification of any diversions and how the map grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood. Master plan shall also provide evidence to the City Engineer that the grading and development produces no overloading of downstream systems, grading a development shall balance tributary drainage areas to reflect existing conditions and prove, with an appropriate hydrological and hydraulic study, that downstream systems will not be overburdened, and that hazardous conditions are non-existent. The calculations shall include a drainage basin map showing basin limits and area in acres, hydrology and system hydraulic calculations, pipe size calculations, inlet capacity calculations, and other information necessary to support the proposed design. Storm drains will be sized to carry the flows generated by the design storm per County of Orange Standards. The storm drain system design calculations shall show that the pipes have a self-cleaning minimum velocity of three feet

- (3') per second when flowing half full (Design Manual Concrete Pipe, Page 7 and Caltrans Highway Design Manual, Page 830-15). Hydrologic and hydraulic calculations demonstrating adequate site drainage from a 10-year return frequency storm (25-year frequency in sump areas) prepared by a Registered Civil Engineer shall be submitted with the Grading Plan. City Engineer is authorized to use 2010 EIR hydraulic study if applicable.
- c. Master Utilities Plan shall address the need if any for upsizing of existing sewer and water utilities necessary to provide service to the development.
 - d. A geotechnical report for the review and approval of the Director of Community Development and City Engineer. The report shall include the information and be in a form as required by the Grading Ordinance. The report shall include a section on soils analysis verifying that on-site soils are suitable for the proposed development. These studies shall include assessment of potential soil-related constraints and hazards such as slope instability, settlement, liquefaction, and related seismic impacts. The studies shall include specific mitigation measures, addressing all identified geotechnical constraints, in accordance with the Uniform Building Code and relevant city grading and subdivision ordinances. Proof of completion of any required remediation shall be provided prior to completion of the grading and acceptance of the grading improvements. The applicant shall comply with all requirements of the Rossmoor/Los Alamitos Area Sewer District for sewer connections and sewer improvements and Golden State Water District for connections and water improvements.
 - e. A Stormwater Pollution Prevention Plan. All recommendations shall including Best Management Practices (BMPs) shall be implemented to the maximum extent possible. Evidence that proper clearances have been obtained through the State Water Resources Control Board (SWRCB), including coverage under the NPDES statewide General Storm Water Permit for construction activities, shall be given to the City prior to issuance of any grading permits. On-site drainage shall be in compliance with the National Pollutant Discharge Elimination system (NPDES) guidelines to the satisfaction of the City Engineer. The applicant shall be responsible for filing a Notice of Intent and for filing the appropriate fees pursuant to the National Pollution Discharge Elimination System (NPDES) program.
31. The Applicant is responsible for all coordination with utility companies and the design of all utility service installations that are required to serve the project, including utility layout, design and costs associated with any necessary facilities upgrades, revisions, relocations and/or extensions. The Applicant shall relocate or underground any overhead utilities that conflict with the new improvements.
 32. The applicant shall produce evidence acceptable to City of Los Alamitos, that:
 - a. All construction vehicles or equipment fixed or mobile, operated within 1,000 feet of dwelling shall be equipped with properly operating and maintained mufflers.

- b. All operations shall comply with Division 6 (Noise Control) of the Codified Ordinances of the County of Orange as adopted by the City of Los Alamitos.
- c. Stockpiling and/or vehicle staging areas shall be located as far as practicable from neighboring property owners.
- d. The construction disturbance "footprint" shall be kept as small as possible.
- e. Truck idling shall be prohibited for periods of longer than 10 minutes.
- f. Off site hauling operations shall be prohibited during rush hours unless approved by the City.
- g. Staging areas shall be placed as far as practical from sensitive receptors.
- h. Construction equipment shall be maintained in peak operating conditions to reduce emissions.

Notations in the above format, appropriately numbered and include with other notations on the front sheet of grading plans, will be considered as adequate evidence of compliance with this condition.

33. If applicable, as determined by the City Engineer for off-site hauling of export or import, prior to the issuance of the grading permit, the applicant shall prepare a traffic control plan for approval by the City Engineer. The traffic control plan shall address, to the City's satisfaction, the following issues (at a minimum):
- a. A haul routing plan that identifies routes to be used.
 - b. The destination of the export earth materials.
 - c. The types of haul vehicles to be used (including load capacity and total weight).
 - d. Days and hours of hauling operation.
 - e. The placement of truck entry points, and the placement of truck exit points with all-weather access improvements.
 - f. A plan specifying the traffic safety measures proposed to minimize conflicts with non-project traffic including the number and placement of flag persons, the number and placement of temporary signals and signs, limitations on turning movements, and any other methods determined necessary by the City of assure safe traffic flow.
 - g. That the all weather surface access road be monitored, maintained and repaired for the full period the project. At each truck exit point the applicant (or contractor) shall provide an all-weather access comprised of no less than 300-feet of decomposed granite. All trucks will be required to pass over the entire length of the all weather access prior to exiting the site.

The all-weather access shall be addressed as an element of the Traffic Control Plan.

34. Each grading permit shall include evidence that the applicant will comply with all relevant South Coast Air Quality Management District (SCAQMD) regulations, including Rule 402 (requiring that offsite dust be controlled to avoid nuisance impacts) and Rule 403 (restricting construction emissions). Included among Rule 403 requirements are the following:
 - a. Moisten soil prior to grading.
 - b. Water exposed surfaces at least twice daily, with more frequent watering when winds exceed 25 miles per hour (mph).
 - c. Use a soil conditioner on exposed earth to minimize erosion potential.
 - d. Wash mud-covered tires and undercarriages of trucks leaving the construction site.
 - e. Provide street sweeping as needed to remove dirt from public roadways adjacent to the construction area.
 - f. Suspend grading operations when winds exceed 25 mph.
 - g. Provide permanent sealing of all graded areas as soon as practical after grading.
35. The applicant shall be required to repair and/or replace any damaged public improvements fronting the project resulting from project construction.
36. Prior to the issuance of the first grading permit, the applicant shall submit a construction phase erosion and sediment control plan reviewed and approved by the City Engineer.
37. The following items related to public street frontage shall be installed by the Applicant and shown on the improvement plans or completed prior to approval of the plans:
 - a. All existing curb return pedestrian ramps that do not meet ADA standards shall be removed and replaced with ramps conforming to the current ADA and City Public Works Standards.
 - b. The improvement plans shall include a Public Street Repair Plan (showing the repair details and limits of repair) for all improvement installations that will result in the cutting, demolition, destruction, etc. of any existing improvements within the public right of way including but not limited to the installation of curb, gutter, sidewalk, utilities (water, sewer, storm drain, electrical, cable TV, telephone, etc.). This plan shall be updated during the construction process as necessary to reflect any unanticipated street repairs. Associated with said plan are the following requirements:

- i. The Applicant shall resurface the existing street pavement whenever a street is cut, either by a longitudinal or transverse cut, for utility or other improvement installations. The resurfacing shall extend a sufficient distance beyond any cut to ensure a smooth transition and shall consist of either a 1 inch asphalt concrete overlay, or petromat with a minimum 1 ½ inch asphalt concrete overlay, depending upon the extent of the proposed pavement cuts and the condition of the existing pavement section, as determined by the City Engineer. Applicant shall also provide digouts and reconstruction of any potholed and/or alligatored areas. Installation of street paving by the Applicant shall include reconstruction of the existing pavement section as required to provide adequate conforms. The limits of such reconstruction shall be reviewed by the Development Engineering Division and approved by the City Engineer as part of the construction plan review.
 - ii. Any unanticipated street cuts or other street repair items that become evident following improvement plan approval shall be included by way of revisions to the Street Repair Plan.
38. Traffic control signs and pavement markings shall be installed at the project driveways. Such improvements shall be shown on the improvement plans and reviewed and approved by the Traffic Engineering Division.
39. The following items related to on-site access and circulation shall be installed by the Applicant and shown on the improvement plans or completed prior to approval of the plans:
 - a. All curb frontages intended for no parking shall be painted red and posted with signs (R26F - No Stopping Fire Lane) as required by the Fire Department.
 - b. The Applicant shall pave all required onsite parking areas and drive aisles thereto in conformance with the minimum City of Los Alamitos standard structural section standard (equivalent to a minimum 3 inches of Asphalt Concrete over 10 inches of Class II aggregate Base material).
40. The following items related to grading and drainage shall be shown on the improvement plans or completed prior to approval of the plans:
 - a. The grading plans provided by the Applicant for review shall include the existing topography shown with contour line labeled at one foot intervals and extending a minimum of 100-feet beyond the limits of the site, or a sufficient distance to indicate impacts on adjacent properties.
 - b. The grading and drainage plan shall include a design that allows for a 100-year overland release with all finish floor and garage slab elevations a minimum of one foot above the 100-year overland release elevation.
 - c. On-site storm drains, outside of City right-of-way, shall be made of SDR-35 plastic or reinforced concrete pipe.

41. In accordance with the NPDES Construction General Permit the Applicant shall incorporate water quality Best Management Practices (BMP's) into the project construction process. The improvement plans shall include an erosion control plan and a list of BMP's and construction notes that will be incorporated into the construction process as water quality measures as follows:
 - a. The contractor shall manage the construction activities; and handle, store and dispose of all hazardous and non-hazardous waste in a manner that eliminates or minimizes (to the maximum extent practicable) the discharge of pollutants (e.g. motor oil, fuels, paints/stains and solvents, asphalt products, concrete, herbicides and pesticides, etc.) to the storm drains, ground water, and/or waterways.
 - b. The contractor shall incorporate spill prevention and cleanup measures into the construction operation. All discarded materials shall be removed from the site and disposed of at an approved disposal facility. The contractor shall incorporate protected and designated equipment cleanup and fueling areas into the construction operation.
 - c. The project property owner shall pay all cleanup, testing, disposal and City administrative costs associated with the discharge of pollutants into the storm drains and/or waterways as a result of the project construction activity.
 - d. The project Storm Water Pollution Prevention Plan is to be available at the construction site. The contractor and project property owner are responsible for insuring that all individuals involved in the construction process have access to the SWPPP and are educated in the plan content details and their particular responsibilities within the plan.

42. Post Development measures (BEST MANAGEMENT PRACTICES (BMP'S)) into the project design to mitigate project impacts to water quality.
 - a. The post-construction BMP's shall be shown on the project improvement plans.
 - b. The Applicant shall prepare and submit a Stormwater Runoff Management Plan per "Post Construction Storm Water Pollution Prevention" standards.
 - c. The post construction BMP measures shall be installed by the Applicant and designed and sized by a registered civil engineer in accordance with the City's adopted PCSWPP Standards and an accepted design method such as that which is outlined in the "California Storm Water Association BMP (CSWA-BMP) Handbook". The design and calculations are to be reviewed and approved by the City Engineer.
 - d. The project post-construction BMP's shall include but not be limited to the applicable items listed in the City Council adopted PCSWPP Standards and Attachment 4 of the State General Permit.

43. The following items shall be shown on the improvement plans or completed prior to approval of the plans:
 - a. The improvement plans shall include a Joint Trench Plan.
 - b. The improvement plans shall include a Construction Traffic Control Plan.
 - c. The Applicant shall provide an accessible route of travel from the fronting sidewalk to the buildings. The site Development and grading shall be designed to provide access to all entrances and exterior ground floor exits, and access to normal paths of travel, and where necessary to provide access, shall incorporate pedestrian ramps, curb ramps, etc. The accessible route of travel shall be the most practical direct route between accessible building entrances, accessible site facilities and the accessible entrance to the site per CBC 1127B. All proposed accessible routes of travel shall be identified on the improvement plans.
 - d. For trenching within existing roadway areas, the Applicant's engineer shall ascertain the location of all underground utility systems and shall design any proposed subsurface utility extensions to avoid disrupting the services of such systems. This data shall be shown on the improvement plans.
 - e. The Applicant shall connect the project to the Los Alamitos Sanitation District for sanitary sewer service. Sewer services shall be shown on the improvement plans and shall be installed in accordance with County of Orange standards.
44. Prior to the issuance of each grading permit, whichever occurs first, the applicant shall in a manner meeting the approval of the Public Works Director/City engineer dedicate any and all easements necessary including easements for all utilities located in Kaylor Street to the City of Los Alamitos.
45. As part of Phase 2 improvements, Applicant shall replace the intersection of Kaylor Street and Katella Avenue and the intersection of Kaylor Street and Catalina Street with a commercial drive approach per Orange County PF & RD Standard Plans. Vacation of the street shall be in accordance with the procedures set forth under the California Streets and Highways Code.
46. Applicant shall close any not utilized existing drive approaches along the entire frontage of the project by constructing full height curb and gutter per APWA Standard Plans.
47. Prior to issuance of any permit related to the Courtyard or Patient Care/Hospital Building 1, applicant shall satisfy all requirement of the City Engineer related to the vacation of Kaylor.
48. Prior to issuance of a building permit for the project the Applicant shall submit documentation to the City Engineer for review and approval that indicates that the following items have been addressed:
 - a. All required improvements shall be completed by the Applicant prior to occupancy and establishment of the use. To guarantee completion of the improvements, the Applicant shall enter into an agreement with the City

and provide a security acceptable to the city prior to issuance of any building permit. An agreement will not be required if the Applicant completes all of the required improvements to the satisfaction of the City Engineer prior to issuance of the building permit.

- b. The Applicant shall furnish proof satisfactory in form to the City Attorney of the acquisition of all rights of entry, permits, easements, etc., necessary to construct the project or to satisfy required project mitigation measures and/or conditions prior to issuance of a building permit for the applicable building.
 - c. The property owner shall enter into a long term maintenance agreement with the City of Los Alamitos approved both as to form and substance by the City Attorney and City Engineer for long term maintenance, financing and monitoring for the post construction storm water best management practices that are incorporated as part of the project.
 - i. The agreement shall include a detailed outline of responsible parties, inspections, maintenance procedures, monitoring documentation and annual reporting to the City Public Works Department, and procedures for administration and oversight.
 - ii. The agreement shall be recorded prior to issuance of the building permit. The agreement must provide for the perpetual maintenance and replacement of the improvement as well as appropriate provisions relating to enforcement options, the right of the City to access the property to perform work, the right of the City to recover its costs, indemnification and enforcement provisions, as well as any other provisions deemed necessary or convenient to accomplish the City's objectives. The City of Los Alamitos shall either be a signatory to the agreement or a third party beneficiary to the agreement with the right but not the obligation to enforce the obligation and secure attorney's fees for legal counsel to enforce such obligations.
49. Prior to issuance of a certificate of occupancy for each structure the Applicant shall submit documentation to the Building Division for review and approval that indicates that the following items have been completed as reviewed and approved by the Development Engineering Division:
- a. All onsite and offsite improvements shall be installed prior to occupancy.
 - b. The improvements identified on the Public Street Repair Plan shall be completed.
 - c. Installation of street paving by the Applicant shall be completed and shall include reconstruction of the existing pavement section as required to provide adequate conforms. The limits of such reconstruction shall be reviewed by the Development Engineering Division and approved by the City Engineer as part of the construction plan review.

- d. The Applicant shall submit to the Development Engineering Division all improvement plans in digital auto-cad format, compatible with the City's current version, and tied to the City's coordinate system for all storm drain facilities, water lines, lot lines, sanitary sewer lines, sidewalks and streets. Auto-cad files shall be updated for as-built information and submitted to and approved as complete by the Development Engineering Division prior to occupancy.
50. Prior to occupancy all newly installed assemblies must be tested in accordance with local ordinances before they are put in service.
51. A bypass meter shall be supplied by and be the property of Golden State Water Company.

FIRE

52. In conjunction with the City's requirement for Site Plan Review, all building plans shall be submitted to OCFA for review.
53. Prior to the issuance of any building permits, the applicant shall submit a fire hydrant location plan to OCFA for review and approval.
54. Prior to the issuance of any certificate of occupancy, all fire hydrants shall have a blue reflective pavement marker indicating the hydrant location on the street as approved by the fire chief, and must be maintained in good condition by the property owner.
55. Proper to the issuance of any building permits, the applicant shall provide evidence of adequate fire flow. The "Orange County Fire Authority Water Availability for Fire Protection" form shall be signed by the applicable water district and submitted to the Fire Chief for approval.
56. Prior to the issuance of a building permit, the applicant shall submit plans for any required automatic fire sprinkler system in any structure to the Fire Chief for review and approval. Please contact the OCFA at (714) 573-6100 to request a copy of the "Orange County Fire Authority Notes for New NFPA 13 Commercial Sprinkler Systems."
57. Prior to the issuance of a certificate of occupancy, any required sprinkler system shall be operational in a manner meeting the approval of the Fire Chief.
58. Prior to the issuance of a building permit, plans for the fire alarm system (if over 100 sprinklers installed) shall be submitted to the Fire Chief for review and approval. Contact OCFA at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guidelines for New and Existing Fire Alarm Systems."
59. Any required fire alarm system shall be operational prior to the issuance of a certificate of occupancy.

60. Prior to the issuance of any building permits, the applicant shall obtain approval of the Fire Chief for all fire protection access roads to within 150 feet of all portions of the exterior of every structure on site. Please contact OCFA at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guidelines for Emergency Access."

RESOLUTION NO. 2011-06

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA, TO VACATE THE PUBLIC RIGHT OF WAY KNOWN AS KAYLOR AVENUE BOUNDED ON THE NORTH BY THE SOUTHERLY LINE OF CATALINA STREET AND ON THE SOUTH BY THE NORTHERLY LINE OF KATELLA AVENUE, AS DELINEATED AND DEDICATED TO PUBLIC USE FOR STREET PURPOSES ON THE MAP OF TRACT NUMBER 5354, RECORDED IN BOOK 206, PAGES 48 THROUGH 50 OF MAPS, OFFICIAL RECORDS OF ORANGE COUNTY, STATE OF CALIFORNIA AND AS ACCEPTED BY THE CITY OF LOS ALAMITOS CITY COUNCIL ON SEPTEMBER 22, 1964, PURSUANT TO THE STREETS AND HIGHWAYS CODE SECTION 8300 ET SEQ.

WHEREAS, the owner of the subject property, Los Alamitos Medical Center, has requested a vacation of an easement on Kaylor Street from Katella Avenue to Catalina Street in the City of Los Alamitos, County of Orange, California, as more particularly described in Exhibit "A" attached hereto; and,

WHEREAS, the process for vacation of an easement is specified in the California Streets and Highways Code, Section 8320 et seq.; and,

WHEREAS, California Streets and Highways Code Section 8300 et seq. provides for General Vacation when certain conditions are met; and,

WHEREAS, California Government Code Section 65402 requires that prior to an agency taking any action to vacate any street segment, an assessment must be made by the Planning Commission of that agency as to conformity of that action with the City's General Plan; and,

WHEREAS, Section 8320 of the State of California Streets and Highways Code provides that the City Council may, upon receipt of written request and by resolution, declare its intention to vacate any public service easement; and,

WHEREAS, the Planning Commission adopted Resolution No. 10-25, on November 8, 2010, making the appropriate findings of conformance with the Los Alamitos General Plan of vacation of the Kaylor Street from Katella Avenue to Catalina Street, as more particularly described in Exhibit "A."; and,

WHEREAS, the vacation of Kaylor Street was found to be in conformance with Goal One of the City's General Plan as it provides an efficient network of streets, bikeways, and pedestrian areas which promote the safe and efficient movement of people and goods. Kaylor Street will be vacated and reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street will extend south from Catalina Street and serve a private road for ambulances to the new emergency room and access for employees and visitors. Kaylor Street will terminate in a cul-de-sac constructed to City and Orange County Fire Authority standards. No improvements are anticipated to be required for Katella Avenue other than frontage improvements associated with the new driveway entry. The proposed project would maintain existing pedestrian and bicycle access via sidewalks and bike lanes along adjacent roadways to allow pedestrian and cyclist mobility and access to the project site; and,

WHEREAS, the vacation of Kaylor Street was found to be in conformance with Goal Two of the City's General Plan as it allows for improving traffic monitoring and metering systems. Kaylor Street would be reconfigured as a driveway access into the site, providing access to the new parking structure and surface parking lots. On the north, Kaylor Street would extend south from Catalina Street and serve as a private road for ambulances to the new emergency room and access for employees and visitors; and,

WHEREAS, staff has published and posted notices in accordance with California Streets and Highways Code Sections 8320-8325; and,

WHEREAS, the City Council adopted Resolution No. 2011-04, on February 7, 2011, stating their intent to vacate Kaylor Street and setting the public hearing date; and,

WHEREAS, on this basis, the City has concluded that the subject easement is unnecessary for public use for street purposes.

WHEREAS, that Tenent Healthcare provide an insured final Title Report regarding ownership of the property underlining Kaylor Avenue to the satisfaction of the City Manager before the City Clerk may record the vacation regarding Kaylor Avenue; and,

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The City Council of the City of Los Alamitos, California, finds that the property described in the attached legal description, "Exhibit A," is not necessary for present or prospective public use for street purposes.

SECTION 2. The City Clerk is hereby authorized to send a certified copy of this resolution, attested by the Clerk under seal per the Streets and Highways Code Section 8325, to the Office of the County Recorder who is hereby directed to record it.

SECTION 3. That from and after the date of recording, the above described property shall no longer constitute a right-of-way of a street or highway.

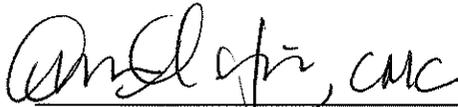
SECTION 4. Pursuant to California Streets and Highways Code Sections 8340 and 8341, the City reserves and excepts from the vacation any and all easements and rights to construct, maintain, operate, replace, remove, and renew sanitary sewers and storm drains and appurtenant structures and to construct, maintain, operate, replace, remove, renew, and enlarge lines of pipe, conduits, cables, wires, poles, and other convenient structures, equipment, and fixtures for the operation of gas pipelines, telegraphic and telephone lines, railroad lines, and for the transportation or distribution of electric energy, petroleum and its products, ammonia, and water in, upon, over, and across the property described in "Exhibit A." The vacation shall further not affect any public utility facilities currently in, upon, over, and across the property described in "Exhibit A."

SECTION 5. The City Clerk shall certify as to the adoption of this Resolution.

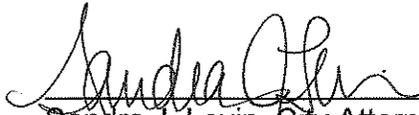
PASSED, APPROVED, AND ADOPTED this 22nd day of February 2011.


Kenneth Stephens, Mayor

ATTEST:


Adria M. Jimenez, CMC
City Clerk

APPROVED AS TO FORM:


Sandra J. Levin, City Attorney

